

Village of Addison

COMMUNITY DEVELOPMENT DEPARTMENT

BUILDING • CODE ENFORCEMENT • ENGINEERING • ZONING

AGENDA

PLANNING AND ZONING COMMISSION

PUBLIC HEARING/BUSINESS MEETING

WEDNESDAY, NOVEMBER 12, 2025

DATE: Wednesday, November 12, 2025 Chair – Marianne Fotopoulos
TIME: 5:30 P.M. Member – Joseph Ariano
PLACE: Addison Village Hall Member – Edward Cargill
1 Friendship Plaza Member – Donald McComb
Addison, IL 60101 Member – Timothy Schmitt
Member – Mark Turk

I. CALL TO ORDER – ROLL CALL

II. CONSIDERATION TO APPROVE THE MINUTES OF THE OCTOBER 14, 2025 PLANNING AND ZONING COMMISSION MEETING

III. PUBLIC HEARINGS AND RECOMMENDATIONS

1. File #PZ-25-13, consideration of hearing testimony regarding a special use for a planned development with variations and exceptions, including:

- a seventy-seven foot and nine inches (77'-9") building setback along Lake Street when the subdivision plat requires one hundred feet (100');
- parking in the front yard along Lake Street;
- trucks and semi-trailers to be parked or stored overnight in the loading zone;
- allow a building bump out and a twelve-foot (12') wall on the southwest side of the building off-street loading facilities to be screened from the residential district;
- noise restrictions to be held to the same standard as M1, M2, & M3 while complying with the decimal levels and time restrictions as allowed;
- a flat bottom detention basin planted with prairie grass (native planting);
- side slopes of the detention basin to be installed up to four (4) horizontal to one (1) vertical above the normal water level; and
- a four to one (4:1) length to width ratio for the rectangle basin in order to build a new industrial warehouse development and related improvements at 2349 Lake Street located in Addison, Illinois

P.I.N.: 02-13-303-043

Petitioner: LPC Acquisition Company, LLC

The Public Notice was advertised in the October 28, 2025 issue of the Daily Herald Newspaper.

Consideration of File #PZ-25-13 as described above.

2. **File #PZ-25-14**, consideration of hearing testimony regarding annexation, a plat of resubdivision, and a pre-annexation agreement between the Village of Addison and the owner of the single-family residential property located at 17W364 Red Oak Avenue.

P.I.N.: 03-22-210-014

Petitioner: Sarah and Steve Martise

The Public Notice was advertised in the October 28, 2025 issue of the Daily Herald Newspaper.

Consideration of File #PZ-25-14 as described above.


THIS FILE WILL BE RE-PUBLISHED IN THE NOVEMBER 24, 2025 ISSUE OF THE DAILY HERALD NEWSPAPER TO INCLUDE REZONING IN ADDITION TO ANNEXATION, A PLAT OF RESUBDIVISION AND PRE-ANNEXATION AGREEMENT.

THIS FILE WILL ALSO BE TABLED.

3. AUDIENCE PARTICIPATION

4. OTHER BUSINESS AT THE DISCRETION OF THE CHAIRMAN

5. ADJOURNMENT

Approved: 
Consuelo Arguilles
Assistant Director, Community Development

Pending

"In compliance with the Americans with Disabilities Act and other applicable federal and state laws, Village of Addison meetings will be accessible to individuals with disabilities. Persons requiring auxiliary aids and services should contact Don Pinson, Director of Human Resources/Risk Management, 1 Friendship Plaza, Addison, Illinois 60101, or call 630-543-4100, ext. 7505, five (5) days prior to meeting to inform of their anticipated attendance. Text Telephone (TTY) users may use the Addison Police Department's non-emergency number, 630-543-3080."

**MINUTES OF THE PLANNING & ZONING COMMISSION
VILLAGE OF ADDISON
WEDNESDAY, OCTOBER 14, 2025**

The Planning & Zoning Commission meeting of the October 14, 2025 meeting was called to order at 5:30 p.m. by Tim Schmitt.

Present: Ariano, Cargill, McComb, Schmitt, Turk
Absent: Fotopoulos
Also Present: Consuelo Arguilles, Village of Addison, Village Attorney Pat Miner and Dan Medina, Addison Fire Protection District

PUBLIC HEARING

I. CALL TO ORDER – ROLL CALL

A motion was made by Mr. Cargill to have Tim Schmitt chair the meeting this evening, seconded by Mr. Ariano. Roll call was taken. Motion passed unanimously.

II. CONSIDERATION TO APPROVE THE MINUTES OF THE AUGUST 13, 2025 PLANNING & ZONING COMMISSION MEETING

Mr. Turk made a motion to approve the minutes of the August 13, 2025 Planning and Zoning meeting, seconded by Mr. Ariano. Vice-Chair Schmitt asked if there was any discussion. There was none. Roll call was taken.

Motion passed unanimously.

III. PUBLIC HEARINGS AND RECOMMENDATIONS

1. File #PZ-25-09, consideration regarding a variation from the front yard setback for the property at 429 S. Clarendon Avenue in Addison, IL 60101.

P.I.N.: 03-32-203-006

Petitioner: Mario Fernandez

The Public Notice was advertised in the September 26, 2025 issue of the Daily Herald Newspaper.

Mr. Cargill made a motion to open File #PZ-25-09, seconded by Mr. Turk. Roll call was taken.

Motion passed unanimously.

Ms. Consuelo Arguilles, Village of Addison stated that the petitioner is requesting a variation from the front yard setback requirement for the property at 429 S. Clarendon. This property is zoned R2 which is single family residential. The reason for the variation request is that the petitioner seeks to extend the front entry roof of the property with the structure that is there now by approximately 4 feet from the existing house to align the roof with the end of the existing concrete stoop. There is an existing front stoop by the front entrance and the petitioner would like to add a roof extending from the existing roof line of the house to provide shelter from the outside element as much as possible so that extension will measure 4 feet in depth by 6 feet wide and this will result in a 26 front yard setback. This does require a variation as the underlining zoning requirements do call out a minimum front yard setback of 30 feet. The petitioner is here this evening and can answer any questions that you may have. Staff reviewed the request and did not have any objections to the request. The roof extension would be minimal in size and would not exceed the size of the existing concrete stoop that is there now.

Staff finds that the proposed variation complies with the standards set forth in the Zoning Ordinance and, therefore, staff recommends approval of the requested variation from the front yard setback to allow four feet (4') by six feet (6') roof over the existing concrete stoop for the property at 429 S. Clarendon Avenue.

The petitioner was present and sworn in. The petitioner had nothing more to add. Vice-Chair Schmitt asked if the Plan Commission had any questions. Vice-Chair Schmitt stated for the front yard setback, is it limited to just the covering over the stoop and do we need to make that part of the recommendation. Ms. Arguilles stated there is no porch, it does exceed the maximum encroachment that is permitted by the zoning ordinance so for that reason the variation is required and is subject to the dimensions that the petitioner submitted.

Vice-Chair Schmitt asked if the audience had any questions. There were none.

Vice-Chair Schmitt asked for positive and negative testimony. There were none.

Mr. Cargill made a motion to close File #PZ-25-09, seconded by Mr. Ariano. Roll call was taken.

Motion passed unanimously.

Consideration of File #PZ-25-09 as described above.

Mr. Cargill made a motion to accept the recommendation to allow a roof over his existing stoop, seconded by Mr. Turk. Vice-Chair Schmitt asked if there was any discussion. There was none. Roll call was taken.

Motion passed unanimously.

2. **File #PZ-25-10**, consideration regarding a variation to the rear yard for the property located at 1220 W. National Avenue, Addison, IL 60101.

P.I.N.: 03-30-403-030

Petitioner: Paul Jennrich

The Public Notice was advertised in the September 26, 2025 issue of the Daily Herald Newspaper.

Mr. Cargill made a motion to open file PZ#-25-10, seconded by Mr. Ariano. Roll call was taken.

Motion passed unanimously.

Ms. Consuelo Arguilles, Village of Addison stated this request is seeking a variation to the rear yard setback for the property at 1220 W. National Avenue. This property is in the Village of Addison and is zoned M2 General Manufacturing District does consist of an existing building and the petitioner is looking to build an addition matching the rear yard setback along the north property line. The addition would measure about 12,000 s. f. in area and the existing building is 38,000 s.f. The building is occupied by VISOgraphic and the addition would match the existing rear yard setback along the north. Because this property does back up to single family residential homes and zoning to the north, they are subject to a setback requirement measuring at least 100 feet. The proposed rear yard setback would be 50 feet to match that of the existing building; this is why the petitioner is asking for a variation. The addition would be constructed out of brick on all four sides and the materials of the addition would be constructed out of pre-cast panels and will include windows and an overhead door on the south building elevation. The primary colors of the existing and proposed facades will be compatible with each other.

Village Staff did review the request and had several comments that are included in the staff report. The petitioner did not seek any variations from any of the comments that were provided in the report. Staff is recommending the proposal to be a positive recommendation for the rear yard setback for the property at 1220 W. National subject to the comments listed in the staff report.

The petitioner was present and sworn in. Mr. Jennrich showed the site plan on the overhead.

Vice-Chair Schmitt asked if the Plan Commission had any questions.

Mr. Cargill asked is the rear yard depth is the same as it was before on the existing building. So, you really are not reducing that in any way. Mr. Jennrich said no. Mr. Cargill said it is just matching what is already there? Mr. Jennrich said that is correct.

Vice-Chair Schmitt asked if the audience had any questions.

Ciro Coletta, 1371 W. Diversey Ave, Addison, IL asked if this is for storage or manufacturing. Mr. Jennrich said it is planned for storage.

Bob Dahlke, property owner of the building was sworn in. Mr. Dahlke stated that he is the property owner, this is a family business that is growing and they would like to add on 12,000 s.f. with light manufacturing.

Carmen Grisolia, 41 N. Prairie Drive, Addison, IL asked what kind of manufacturing will be there. Mr. Dahlke stated it will be light manufacturing.

Vice-Chair Schmitt asked for positive and negative testimony. There was none.

Mr. Ariano made a motion to close File #PZ-25-10, seconded Mr. Turk. Roll call was taken.

Motion passed unanimously.

Consideration of File #PZ-25-10 as described above.

Mr. Cargill made a motion for approval, seconded by Mr. McComb. Vice-Chair Schmitt asked if there was any discussion. There was none. Roll call was taken.

Motion passed unanimously.

3. **File #PZ-25-12**, consideration regarding a special use for a forty-one feet, eight inches (41'-8") building height, a plat of consolidation/easement vacation, and a variation for eighty (80) foot setback along the north property line for the property at 111 and 133 S. Rohlwing Road, Addison, IL 60101.

P.I.N.: 03-30-300-005 and 03-30-300-006

Petitioner: ML Realty Partners, LLC

The Public Notice was advertised in the September 26, 2025 issue of the Daily Herald Newspaper.

Mr. McComb made a motion to open File #PZ-25-12, seconded by Mr. Cargill. Roll call was taken.

Motion passed unanimously.

Ms. Consuelo Arguilles, Village of Addison stated this request is seeking a special use for forty-one feet, eight inches (41'-8") building height, a plat of consolidation/easement vacation and a variation for eighty (80) foot setback along the north property line for the property at 111 and 133 S. Rohlwing Road. This property is zoned M2 and is in the Village of Addison but it does abut unincorporate DuPage County property residential property to the north and west.

The Petitioner plans to demolish the existing buildings and build one new single-story building measuring ±186,190 square feet in area. This would be a speculative industrial building for 1-3 tenants. A special use for a forty-one-foot, eight inches (41'-8") building height, a plat of consolidation/easement vacation, and a variation for eighty (80) foot setback along the north property line is required. The Staff report does provide a summary of the zoning information. Staff from various departments have reviewed the petitioner's request and found that it is consistent with existing land uses and the site conditions in the area, therefore it would not be uncharacteristic of an existing uses and conditions in the adjacent manufacturing districts. The property to the south and east that is in the Village of Addison is predominantly manufacturing zoned. Staff comments that are provided are part of the Staff Report and can be addressed as part as the building permit process. Staff recommends that the Special Use for the 41'-8" building height and the plats to consolidate the easement, vacation and variation for 80-foot setback along the north property line comply with the standards and recommends approval of the requested actions subject to the following conditions of approval:

- 1) Development in general conformance with the submitted plans.
- 2) Issuance of all required permits for new construction.
- 3) Submittal of a Plat of Easement.
- 4) Submittal of business licenses for future businesses/occupants in the building.
- 5) Compliance all applicable development, landscape, photometric code requirements.

The petitioner was present and sworn in. The petitioner showed a power point presentation. They plan on demolishing two aging buildings and build one modern high image industrial building, approximately 186,000 sf. The objective is to improve their portfolio. The appearance of the site will be improved as well as the landscaping. The petitioner showed photos of the some of the buildings that have done and also showed the new proposed new building.

Vice-Chair Schmitt asked if the Plan Commission had any questions. Mr. Cargill said it seems that you are going to cover more surface area. The petitioner said the building footprint is coming down from 210,000 sf for the two existing buildings to the 186,000 that they are putting up. Mr. Cargill asked if there are any plans to screen the residential to the northwest. The petitioner said they will be doing densely landscape buffer along the north property line. There is some berm there.

Vice-Chair Schmitt asked if the audience had any questions. There was none.

Vice-Chair Schmitt asked for positive and negative testimony. There was none.

Mr. McComb made a motion to close File #PZ-25-12, seconded by Mr. Cargill. Roll call was taken.

Motion passed unanimously.

Consideration of File #PZ-25-12 as described above.

Mr. McComb made a motion for approval for File #PZ-25-12 with the following conditions which was seconded Mr. Cargill. Vice-Chair Schmitt asked if there was any discussion. There was none. Roll call was taken.

- 1) Development in general conformance with the submitted plans.
- 2) Issuance of all required permits for new construction.
- 3) Submittal of a Plat of Easement.
- 4) Submittal of business licenses for future businesses/occupants in the building.
- 5) Compliance all applicable development, landscape, photometric code requirements

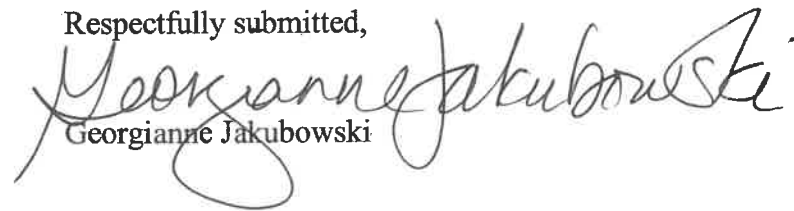
Motion passed unanimously.

IV. AUDIENCE PARTICIPATION - None**V. OTHER BUSINESS AT THE DISCRETION OF THE CHAIRMAN - None****VI. ADJOURNMENT**

Mr. Ariano made a motion to adjourn the meeting at 6:10 p.m., seconded by Mr. Turk. Roll call was taken.

Motion passed unanimously.

Respectfully submitted,



Georgianne Jakubowski

PLANNING & ZONING MEETING, OCTOBER 14, 2025

PLEASE SIGN IN

NAME	ORGANIZATION/ADDRESS/EMAIL/PHONE NUMBER
MARIO FERNANDEZ	429 S. CLARENDON AVE 630 8412589
CIRO COLETTA	1371 W. DIVERSEY AVE / 312-305-0340
TIM GEISLER	1 PIERCE PLACE ITASCA 547-975-8861
DOUG WOOD	1 PIERCE PLACE ITASCA 708-200-5682
PAUL JENNARD	245 Esbly Court, Villa Park. / 773-458-0068
KERRY HARRIS	1475 WOODFIELD RD / 847-624-7755
Tom Szwedowski	Kimly-Hin 4201 Winfield Rd. 331-481-7330
ROGER CERRO	51 N. Prairie Dr Addis 312-385-0976
Carmine Spadolini	41 N Prairie Dr Addison 708-788-0555



STAFF REPORT | November 12, 2025 | CASE #PZ-25-13

TO:
Marianne Fotopoulos, Chair and
Members of the Planning and
Zoning Commission

FROM:
Michael Crandall, Director of
Community Development

FILE MANAGER:
Consuelo Arguilles, Assistant
Director of Community
Development

ACTIONS REQUESTED:
P&Z RECOMMENDATION

APPLICANT / CONTACT:
Vince Pergande

SITE AREA:
± 426,603 sq.ft.

ZONING:
M4 Planned Office
Research/Industrial

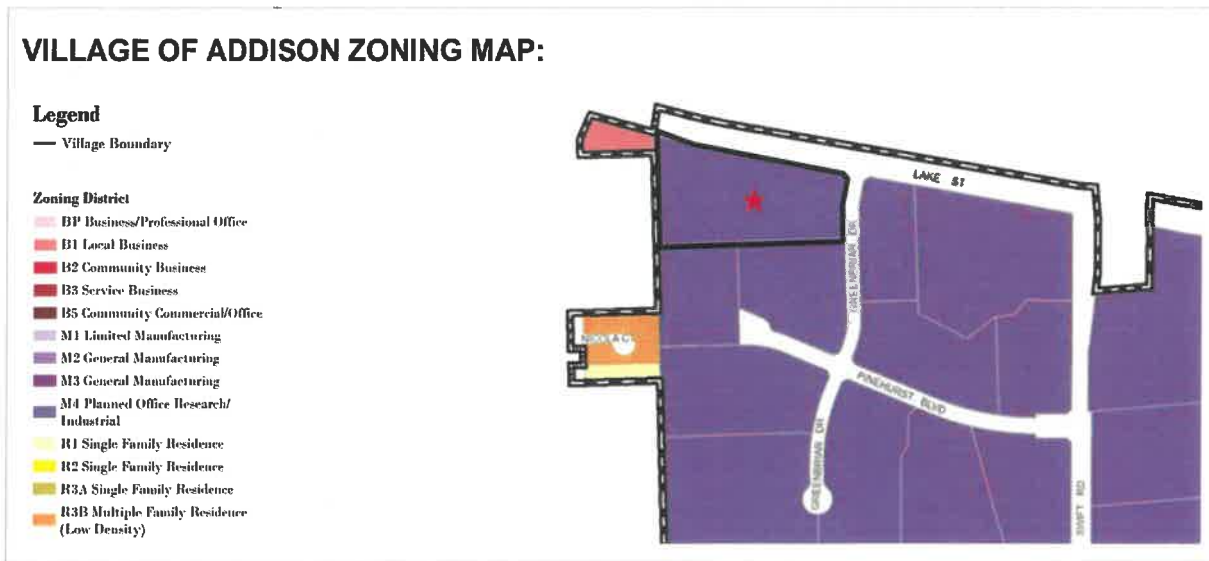
ADDRESS: 2349 W. Lake Street | PIN: 02-13-303-043

**PROJECT NAME: Special Use for a Planned
Development with variations and exceptions,
including:**

- parking in the front yard along Lake Street;
- trucks and semi-trailers to be parked or stored overnight in the loading zone;
- allow a building bump out and a twelve-foot (12') wall on the southwest side of the building off-street loading facilities to be screened from the residential district;
- noise restrictions to be held to the same standard as M1, M2, & M3 while complying with the decimal levels and time restrictions as allowed;
- a flat bottom detention basin planted with prairie grass (native planting);
- side slopes of the detention basin to be installed up to four (4) horizontal to one (1) vertical above the normal water level; and
- a four to one (4:1) length to width ratio for the rectangle basin in order to build a new industrial warehouse development and related improvements

DUPAGE COUNTY PARCEL VIEWER:





SITE ASSESSMENT

In the Village of Addison, a car wash, gaming café, gas station, and residential are located to the west on Lake Street and general manufacturing uses are located to the east and south. The Village of Addison Comprehensive Plan designates the subject property as Light Industrial.

Property in unincorporated DuPage and in the Village of Bloomingdale include an office building and residential homes located to the west.

DuPage County and Bloomingdale Township records indicate the subject property is categorized as commercial with an office building (multi-tenant 3+) that was built in 2000. The existing building measures two stories in height, 59,133 square feet on the first floor and 58,285 square feet on the second floor.

PROJECT SUMMARY

The Applicant is under contract to purchase the subject property from the current owner to develop a new warehouse building. The development will generally be consistent with the proposal that recently received approval of a special use for a planned development with variations and exceptions on August 4, 2025, but the current proposal includes a larger building and parking lot. However, the current plan will not be requesting any variations above and beyond what has already been approved by the new ordinance.

The current plans indicate the existing office building will be demolished for a new office/warehouse building measuring 140,250 square feet in area. The building will be oriented towards Lake Street and 180 parking spaces will be provided along the side (W) and front (N) lot lines. Thirty-six (36) truck docks will in the rear of the building facing the south property line.

The table below provides a summary of the zoning requirements and the proposal:

	M4 District Requirements	Proposed
Lot Area	Min. 2 Acres (87,120 sq.ft.)	9.79 Acres (426,603 (sq.ft.)
Lot Width	Min. 200'	922.89'
Floor Area Ratio	Maximum .5	.33
Parking Lot	Min. 40'	41'
Building Height	Max. 65'	38'
Building Setbacks*: Front (N)	Min. 76.5' (75' + 1.5')	78.07'
Side Yard (W)**	Min. 101.5' (100' + 1.5')	121.16'
Front Yard (E)	Min. 41.5' (40' + 1.5')	107'
Rear Yard (S)	Min. 41.5' (40' + 1.5')	71.5'

* An additional setback of one foot from all property lines shall be provided for each two feet by which the building or structure exceeds 35 feet in height, and for each one floor by which the building or structure exceeds 65 feet in height.

**No building or structure shall be located closer than 100 feet to any property line abutting a residential district.

The proposed new office/warehouse building would measure 8,389 square feet larger in area from the ±131,861 square feet building that was previously proposed. The building location and orientation will not change. It will be oriented along Lake Street and will be multi-tenant. The industrial building would be able to accommodate a variety of uses including warehouse, distribution, assembly, showroom, and light manufacturing. The building will have the ability to support up to three (3) individual tenants. Each tenant space includes a dedicated office entrance.

Access to the site will be provided from the existing points on Lake Street and Greenbriar Drive. The Lake Street access will be right in, right out for cars. The Greenbriar Drive access will be the main access point for trucks.

The building will include bump-outs on the southern elevations to screen the trucks. In addition, a twelve-foot (12') pre-cast screen wall is proposed at the southwest corner of the building to provide visual and sound protection for the adjacent residential properties to the west. The plans indicate the existing 5-7' high berm and the existing mature trees located along the west lot line will remain. An eight-foot (8') tall solid vertical wood picket board-on-board style privacy fence with minimal gap, or overlapping board fence is proposed. Additional trees will be planted as proposed in the landscape plan.

The sight-line drawings indicate the loading dock, including trucks, would not be visible to a 6' tall person from the southwest corner looking north or looking east. The Applicant indicates the

building would be available for use 24 hours a day, seven days a week, but notes that this type of building is rarely used overnight and has low truck traffic.

The elevations plans indicate the building will primarily consist of smooth concrete panels, metal canopies, and storefront glass entrances. Vertical offsets measuring 10 ½" will be provided to break up the façades. Horizontal reveals will be provided on each building elevations as well.

There is one active tenant, Option Care (54,959 sq.ft. of the 116,550 sq.ft. existing building). Redevelopment of the property will require this tenant to terminate the lease and vacate. The current property owner is in discussions with Option Care and is hoping to reach acceptable terms to terminate the lease and start demolition in the Spring of 2026. Construction will take place approximately 12 months to demolish the existing building and start construction of the new industrial building.

INTERDEPARTMENTAL REVIEW COMMENTS

Village staff from various departments reviewed the petitioner's request for a special use for a Planned Development with variations and exceptions for a new industrial warehouse development and related improvements. The proposal is consistent with the existing land use and site conditions. Further, the proposal would not be uncharacteristic of existing uses and conditions in the adjacent manufacturing area.

The following building comments are provided for reference, which can be addressed at time of building permit review:

Planning:

- Unless seeking a variation or deviation, the development will be subject to compliance with all applicable development, landscape, and photometric code requirements.

Building:

- The building will be subject to the 2024 I-Codes.

Engineering:

- The pedestrian access from all parking spaces to the building facilities should be thoughtfully designed with adequate walkways to ensure safety and protection.
- The turn at the northeast corner of the building presents limited sight distance and should be carefully evaluated, potentially with a reduced building size to improve visibility and reduce conflict risk.
- A comprehensive engineering review will be conducted upon submission of a complete permit application, with consideration given to the granted variances.

Public Works:

- Find the proposal acceptable.

Fire:

- Review of fire hydrant relocation/placement and the quantity of hydrants on the property will be required.
- Building will require fire sprinklers and potentially a fire pump compliant with NFPA13.
- Building will require a fire alarm system compliant with NFPA72.

RECOMMENDATION

Staff finds that the proposed special use for a Planned Development with variations and exceptions, as stated below comply with the standards and recommends approval of the following, including conditions of approval:

- parking in the front yard along Lake Street;
- trucks and semi-trailers to be parked or stored overnight in the loading zone;
- a building bump out and a twelve-foot (12') wall on the southwest side of the building off-street loading facilities to be screened from the residential district;
- noise restrictions to be held to the same standard as M1, M2, & M3 while complying with the decimal levels and time restrictions as allowed;
- a flat bottom detention basin planted with prairie grass (native planting);
- side slopes of the detention basin to be installed up to four (4) horizontal to one (1) vertical above the normal water level;
- a four to one (4:1) length to width ratio for the rectangle basin;
- removal of the existing chain link fence and installation of an eight foot (8') tall solid vertical wood picket board-on-board fence style privacy fence along the west lot line as per the site plan, C1A, last dated 10/27/225;
- development of a new industrial warehouse development and related improvements at 2349 W. Lake Street subject to comply with the standards set forth in the Zoning Ordinance and in general conformance with the plans submitted but revised to address staff's review comments in this report; and
- Following Village Board approval, which shall be valid for two years, the applicants may proceed with the preparation of the Final Planned Development.

SUPPORTING DOCUMENTS

Attached for your review are the following:

- Notice of Public Hearing
- Petitioner Statement and Plans

NOTICE OF PUBLIC HEARING

The Planning and Zoning Commission of the Village of Addison will hold a public hearing on Wednesday, November 12, 2025 at 5:30 p.m. in the Village Board Room of the Addison Municipal Building, located at 1 Friendship Plaza, Addison, Illinois, to hear the following proposal:

File #PZ-25-13: The petitioner requests consideration of hearing testimony regarding a special use for a planned development with variations and exceptions, including:

- parking in the front yard along Lake Street;
- trucks and semi-trailers to be parked or stored overnight in the loading zone;
- allow a building bump out and a twelve-foot (12') wall on the southwest side of the building off-street loading facilities to be screened from the residential district;
- noise restrictions to be held to the same standard as M1, M2, & M3 while complying with the decimal levels and time restrictions as allowed;
- a flat bottom detention basin planted with prairie grass (native planting);
- side slopes of the detention basin to be installed up to four (4) horizontal to one (1) vertical above the normal water level; and
- a four to one (4:1) length to width ratio for the rectangle basin in order to build a new industrial warehouse development and related improvements at 2349 Lake Street located in Addison, Illinois

Legally described as follows:

LOTS 1 AND 2, INCLUSIVE, IN MEADOWS BUSINESS PARK OF ADDISON UNIT 5, BEING A SUBDIVISION IN THE SOUTHWEST ¼ OF SECTION 13, TOWNSHIP 40 NORTH, RANGE 10, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED JUNE 8, 2001 AS DOCUMENT R2001-112159, IN DUPAGE COUNTY, ILLINOIS.

Petitioner: LPC Acquisition Company, LLC

PIN #: 02-13-303-043

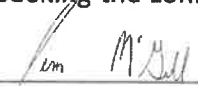
All interested parties are invited to attend the Public Hearing and will be given an opportunity to be heard. Plans are on file for public review at the offices of the Community Development Department, Village Hall, 1 Friendship Plaza.

Marianne Fotopoulos, Chair
Planning and Zoning Commission
Addison, Illinois


Daily Herald Newspaper
Issue of October 28, 2025



PLANNING AND ZONING COMMISSION PUBLIC HEARING APPLICATION

Subject Property	
Address(es) <u>2349 W Lake St. Addison, IL</u>	
Land Use <u>Office</u>	Zoning Designation(s) <u>M4 - Office / Research / Industrial</u> District
Number of Parking Spaces <u>180 stalls (174 regular, 6 ADA)</u>	
Property Area (Sq.ft. / Acreage) <u>9.79 Acres</u> Parcel Number(s) (PIN) <u>02-13-303-043</u>	
Planning / Zoning Request (s) (check all that apply)	
<input type="checkbox"/> Pre-Annexation Agreement <input type="checkbox"/> Annexation <input type="checkbox"/> Plat (Resub., Sub., Easement, Consolidation, etc...)	
<input checked="" type="checkbox"/> Planned Development for <u>New Warehouse</u> <input type="checkbox"/> Zoning Text Amendment Section(s) <u> </u>	
<input type="checkbox"/> Special Use for <u> </u> <input type="checkbox"/> Rezoning (Map Amendment) from <u> </u> to <u> </u>	
<input type="checkbox"/> Variation – If requesting a variation, check at least one of the following:	
<input type="checkbox"/> The property in question cannot yield a reasonable return if permitted to be used only under the conditions allowed by the regulations governing the district in which it is located;	
<input type="checkbox"/> The requested relief is due to unique circumstances; and/or	
<input type="checkbox"/> The variation, if granted, will not alter the essential character of the neighborhood.	
Applicant (primary contact)	
Name (Print) <u>Vince Pergande</u>	
Address <u>191 N Wacker Dr. Suite 1700</u> City, State, ZIP <u>Chicago, IL 60606</u>	
Phone <u>773-401-4733</u> Email <u>vpergande@logisticspropco.com</u>	
Interest in Property <u>Buyer & Developer</u> (e.g. property owner, buyer, developer, lessee, architect, etc...)	
Property Owner (if different than applicant)	
I hereby designate the applicant to act as my agent for seeking the zoning request(s) described in this application and the associated supporting material.	
Name (Print) <u>James E McGill</u>	Signature <u></u>
Address <u>1 N Wacker Drive, Suite 440</u>	City, State, ZIP <u>Chicago, IL 60606</u>
Phone <u>847-894-6882</u>	Email <u>jmcgill@stotanindustrial.com</u>

The applicant is the owner or authorized representative of the owner of the property. The petitioner and the owner of the property grant employees of the Village of Addison permission to enter on the property during reasonable hours for visual inspection of the subject property. I hereby affirm that all information provided herein and, in all materials submitted in association with this application, is true and accurate to the best of my knowledge.

Applicant Signature  Date 9/30/25

To be completed by Village Staff: <input type="checkbox"/> Planning & Zoning Commission Final <input type="checkbox"/> Village Board Final	
File#: PZ - _____ - _____	P&Z Date: ____/____/____ Total Fee \$ _____
<input type="checkbox"/> Paid, Receipt# _____	Cash or Check# _____
Development Name / Address _____	

Petitioner's Statement

Overview

- **Petitioner Information:** LPC Acquisition Company, LLC
- **Petitioner Contact:** Vince Pergande (vpergande@logisticspropco.com) , Ben Fish (bfish@logisticspropco.com), and Laura Stark (lstark@logisticspropco)
- **Property Address:** 2349 W Lake Street, Addison, IL
- **P.I.N.:** 02-13-303-043
- **Current Zoning:** M4 Office-Research / Industrial District
- **Proposed Development:** Planned development with variations and exceptions. Redevelopment of the existing office building into a +/- 140,250 SF industrial warehouse.

Proposed Plan

The petitioner is proposing to demolish the existing office structure and redevelop the property with one industrial building. The proposed plan includes a +/- 140,250 square foot, speculative, multi-tenant industrial building (up to 36 exterior docks and 180 parking spaces). The industrial building would be able to accommodate a variety of uses including warehouse, distribution, assembly, showroom, and light manufacturing. The building is designed to accommodate flexible tenancy, with the ability to support up to three (3) individual tenants. Each tenant space includes a dedicated office entrance to ensure independent access and identity. The building may also be occupied by one (1) or two (2) tenants, and its design allows for such configurations without compromising functionality or appearance.

The building is oriented with high-image office and parking along Lake Street, while the exterior docks are facing south. The building includes bump-outs on the southern elevation to screen the trucks. Additionally, on the western elevation, a 12-foot pre-cast screen wall has been incorporated to provide further visual and sound protection for the adjacent residential properties to the west. The existing 5-7' high berm on the western side of the property and existing mature trees on the western side and along Lake Street will remain. Additional trees will be planted in these areas shown on the landscaping plan.

The petitioner has provided a visual representation of the line of sight from the residents from the west in their submitted materials. The building would be available for use 24 hours a day, seven days a week, but this type of building is rarely used overnight and has low truck traffic.

The petitioner has designed the proposed landscaping around the perimeter of the property to buffer sight lines from the residence and enhance the greenery on site.

Existing

The site is currently improved with a 116,550 square foot office building that is leased to two tenants. One of the tenants (61,591 SF) terminated their lease at the end of 2024 and is vacating November 2025. The other tenant (Option Care – 54,959 SF) is utilizing less than 10% of the space with about 5 employees. Due to declining office demand in suburban Chicago and the increase in

vacancy rate (33% in Northwest Suburban per NAI Hiffman 2024 Q4 Office Report), tenants have been either downsizing or eliminating office footprints and moving towards work from home (WFH) or moving operations to the loop (downtown Chicago) into Class A offices with amenities. This results in very poor liquidity in the office sector as banks are unwilling to provide loans on office properties and buyers of suburban office are essentially nonexistent.

Addison and the surrounding DuPage County areas have strong demand for new industrial space. Vacancy rates for industrial properties are at all time lows for the subject area (2.70% per Colliers 2024 Q4 Industrial Report), with very few new developments. The subject property is located in a business park that has eleven (11) industrial buildings out of eighteen (18) buildings total. All properties within the business park are zoned M4. Directly south of the subject property are three industrial properties, zoned M4, and have residential properties to their west with minimal setbacks.

Located in the Meadows Business Park of Addison Unit 5 Plat (Plat R2001-112159) and shown on the Plat of Survey, there is a 50' parking setback and 100' building setback. These setback lines were from the original Development Agreement (O-89-0028) that was put in place in 1989 and expired in 2005. The petitioner has received all signatures from the owners on the plat to amend the plat to remove these two setback lines and will develop per the M4 Zoning Ordinance with any necessary exceptions notes in this petition.

Timeline

Building construction will be subject to Option Care (54,959 SF of the 116,550 SF building) vacating the building. The current owner is in discussions with Option Care to terminate their lease early but have not been able to reach acceptable terms. Current owner is hoping to reach a finalized deal in the next couple of months and then start demolition in Spring 2026. Construction will take approximately 12 months to demolish the existing office building and complete construction of the new industrial building.

Vehicular Access

Access to the subject site is from the existing point on Lake Street and Greenbriar Drive. On Lake Street, the new development will utilize the same access point as the existing office. It will be a right in, right out for cars. Greenbriar Drive access will be the main access point for trucks and a secondary access point for cars. Greenbriar Drive currently accommodates truck traffic from neighboring buildings south of the subject site and connects to Lake Street and Swift Road by an existing signalized intersection.

Compliance with Planned Developments

The proposed redevelopment will not be detrimental to public health, safety, morals, or general welfare. The property will be brought up to modern safety standards and improved site conditions. The proposed 140,250 SF industrial facility has been carefully designed to reflect a modern, high-image building that will attract top-tier tenants seeking a high-image location in the O'Hare market. The glass and stone-like façade, coupled with clean architectural lines and high-quality materials,

creates a professional, contemporary appearance that enhances the character of the surrounding area.

Please note that this property went through a Planned Development that was approved on 8/4/25. Petitioner is complying with variations and exceptions that have been included in the approved ordinance attached at the end of this Petitioner's Statement, and not requesting any further deviations to the variations and exceptions that have been approved below :

- A forty-one foot (41') parking lot setback in the front yard along Lake Street when the subdivision plat required fifty feet (50')
- A seventy-seven foot and nine inches (77'-9") building setback along Lake Street when the subdivision plat requires one hundred (100')
- Parking in the front yard along Lake Street
- Trucks and semi-trailers to be parked or stored overnight in the loading zone
- Allow a building bump out and twelve-foot (12') wall on the southwest side of the building off-street loading facilities to be screened from the residential district
- Noise restrictions to be held to the same standard as M1, M2, & M3 while complying with the decimal levels and time restrictions as allowed
- A flat bottom detention basin planted with prairie grass (native planting)
- Side slopes of the detention basin to be installed up to four (4) horizontal to one (1) vertical above the normal water level
- A four to one (4:1) length to width ratio for the rectangle basin in order to build a new industrial warehouse development and related improvements at 2349 W Lake Street comply with the standards set forth in the Zoning Ordinance and in general conformance with the plans submitted but revised to address staff's review comments.

Approval of the following will require the necessary exceptions from the Village of Addison Zoning Code requirements for an Industrial Planned Unit Development:

Section VI.7.9.e(1) – No off-street parking shall be located closer than 40 feet to any residential district or located within any front yard.

Requesting to allow for parking in the front yard. Office entrances are on the northwest and northeast corners of the building and will require ample parking for functionality. Front yard parking is existing for the office building on the site. This is consistent with the approval of Panattoni's Industrial Development on 174 N Addison Road, Addison, IL.

Section VI.7.e(2) – Trucks and semi-trailers shall not be parked or stored out-of-doors overnight, in the parking lot or on the premises except within an enclosed loading dock, garage, or within a walled and gated sight screen enclosure, open to the sky, constructed of the same masonry exterior materials as the principal building and equal in height to the height of the first floor of the principal building. However, temporary parking overnight, not to exceed a 48-hour time period, may be permitted for delivery vehicles which arrive after normal business hours.

Requesting to allow for trucks and semi-trailers to be parked or stored overnight in the truck court (loading zone) without a walled or gated sight screen enclosure. As shown in

Petitioner's plans, the truck court is screened with a building bump out on the east and west side, along with landscaping to restrict the view. This is consistent with the approval of Panattoni's Industrial Development on 174 N Addison Road, Addison, IL.

Section VI.7.e(3) – No off-street loading facilities shall be located within 40 feet of any lot line, and shall be screened from view from any residential district by a permanent masonry wall.

Requesting to allow off-street loading facilities to be screened from the residential district with the buildings bump out and 12' wall on the southwest side of the building as shown by Petitioner's plan. Existing berm and mature landscaping on the west property line will remain to help screen. This is consistent with the approval of Panattoni's Industrial Development on 174 N Addison Road, Addison, IL.

These deviations are necessary for efficient site design and operational functionality while ensuring compliance with the overall intent of the M4 zoning district.

SECTION VI. MANUFACTURING DISTRICTS

F. M4 office-Research/Industrial District

7. Yards: No building or structures shall be located closer than 40 feet to any lot line, except that:

a. No building or structure shall be located closer than 75 feet to any right-of-way line of a major street as designated on the official Map of the Village.

Code compliant – building setback is 78.07' from the property line off of Lake Street.

b. No building or structure shall be located closer than 100 feet to any property line abutting a residential district.

Code compliant – building setback is 121.16' from western property line abutting residential.

c. An additional setback of one foot from all property lines shall be provided for each two feet by which the building or structure exceeds 35 feet in height, and for each one foot by which the building or structure exceeds 65 feet in height.

Code compliant – building's tallest point is at 39'-6". For each 2 feet above 35', 1 foot will be added to the setback. $4.5' / 2 \text{ feet} * 1 \text{ foot} = 2.25' = 2'-3"$ of additional setback.

>Front Yard = 75' required setback + 2'-3" additional setback = 77'-3". Plan is at 78.07'.

>Western Side Yard = 100' required setback + 2'-3" additional setback = 102'-3". Plan is at 121.16'.

>Rear Yard = 40' required setback + 2'-3" additional setback = 42'-3". Plan is at 71.5'

9. Development Standards

e. Off-Street Parking and Loading. Off-street parking and loading facilities shall be provided in accordance with the requirements of Section VIII, except that:

(1) No off-street parking shall be located closer than 40 feet to any residential district or located within any front yard.

Refer to the above variations section.

(2) Trucks and semi-trailers shall not be parked or stored out-of-doors overnight, in the parking lot or on the premises except within an enclosed loading dock, garage, or within a walled and gated sight screen enclosure, open to the sky, constructed of the same masonry exterior materials as the principal building and equal in height to the height of the first floor of the principal building. However, temporary parking overnight, not to exceed a 48-hour

time period, may be permitted for delivery vehicles which arrive after normal business hours.

Refer to the above variations section.

(3) No off-street loading facilities shall be located within 40 feet of any lot line, and shall be screened from view from any residential district by a permanent masonry wall.

Refer to the above variations section.

SECTION VIII. OFF-STREET LOADING AND OFF-STREET PARKING

B. Off-Street Parking

11. Screening and Landscaping

d. Parking areas in manufacturing districts abutting residential uses shall be screened by a 30 foot landscaped setback buffer and a densely planted compact hedge not less than 5 feet in height. In addition, a fence not less than 5 feet high, nor more than 6 feet high, may be utilized.

Code compliant – the building will have a 50.26' landscaped setback buffer. The buffer contains an existing 5 to 7' high berm, an 8-foot chain link fence, and landscaping and trees as shown below. The petitioner will also plant additional trees on the south end of the berm.



13. Required Spaces

z. Multi-unit buildings, being structures with are occupied by more than one tenant, including office and warehouse areas, shall have a minimum of eight parking spaces per unit up to 3,000 square feet and one additional space per each 1,000 square feet over 3,000 feet...

Code compliant – The current plan has 180 parking spaces. This amount of car parking spaces allows for 4+ units. This is compliant with the anticipated 1 to 3 units in the building.

4 Units:

140,250 SF / 4 units = 35,062.5 SF

8 spaces for first 3k SF

35,062.5 – 3k SF = 32,062.6 SF



= 1 space per 1k SF = 32 spaces

32 + 8 = 40 spaces per unit

X4 = 160 parking spaces needed for 4 units
Site plan has 180 parking spaces total



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ELIZABETH M. CHAPLIN
RECORDER
DUPAGE COUNTY, IL
09/12/2025 12:32 PM
RHSP
DOC NO. R2025-057271
PAGES: 13

**PREPARED BY AND AFTER
RECORDING RETURN TO:**

Dykema Gossett PLLC
10 South Wacker Drive, Suite 2300
Chicago, Illinois 60606
Attn: Andrew Scott, Esq.

DOCUMENT SUBMITTED WITH
LOW QUALITY / ILLEGIBLE PORTIONS

Above area for recorder's use only.

RELEASE OF SETBACK AGREEMENT

RELEASE OF SETBACK AGREEMENT

This RELEASE OF SETBACK AGREEMENT (“**Agreement**”) is entered into this 3rd day of August 2025 (the “**Effective Date**”) between and among **ADDISON GREENBRIAR LLC**, a Delaware limited liability company (“**Owner 1**”), **COLUMBIA ILLINOIS 1350 GREENBRIAR INDUSTRIAL, LLC**, a Delaware limited liability company (“**Owner 2**”), **MEADOWS BUSINESS PARK PROPERTY OWNERS’ ASSOCIATION**, an Illinois not for profit (“**Owner 3**”), **2251 ADDISON LLC**, an Illinois limited liability (“**Owner 4**”), **COLUMBIA ILLINOIS PINEHURST INDUSTRIAL, LLC**, a Delaware limited liability company (“**Owner 5**”), and **COSTCO WHOLESALE CORPORATION**, a Washington corporation (“**Owner 6**”). Owner 1, Owner 2, Owner 3, Owner 4, Owner 5 and Owner 6 are individually referred to herein as a “**Party**” and collectively as the “**Parties**” as the context may require.

WHEREAS, Owner 1 is the fee title holder to Lot 1 and Lot 2 within the Meadows Business Park of Addison Subdivision Unit 5, a plat of which was recorded with the DuPage County Recorder’s Office on June 8, 2001 as Document No. R2001-112159 (the “**Plat of Subdivision**”) and attached hereto as Exhibit A, such lots being commonly known as 2349 West Lake Street, Addison, Illinois (the “**Owner 1 Parcel**”).

WHEREAS, Owner 2 is the fee title holder to Lot 3 as established by the Plat of Subdivision, such lot being commonly known as 1350 North Greenbriar Drive, Addison, Illinois (the “**Owner 2 Parcel**”).

WHEREAS, Owner 3 is the fee title holder to Lot 4 as established by the Plat of Subdivision, such lot being commonly known as 5 North Swift Road, Addison, Illinois (the “**Owner 3 Parcel**”).

WHEREAS, Owner 4 is the fee title holder to Lot 5 as established by the Plat of Subdivision, such lot being commonly known as 2251 West Lake Street, Addison, Illinois (the “**Owner 4 Parcel**”).

WHEREAS, Owner 5 is the fee title holder to Lot 6 as established by the Plat of Subdivision, such lot being commonly known as 2200 West Pinehurst Boulevard, Addison, Illinois (the “**Owner 5 Parcel**”).

WHEREAS, Owner 6 is the fee title holder to Lot 7 as established by the Plat of Subdivision, such lot being commonly known as 2250 West Pinehurst Boulevard, Addison, Illinois (the “**Owner 6 Parcel**”).

WHEREAS, the Plat of Subdivision, among other things, established a required: (a) 100-foot building setback along the Lake Street frontage on Lots 1 and 2 of the Plat of Subdivision (the “**Building Setback**”) and (b) a 50-foot parking setback along the Lake Street frontage on Lots 1 and 2 of the Plat of Subdivision (the “**Parking Setback**”). The Building Setback and the Parking Setback are collectively referred to herein as the “**Setbacks**.”

WHEREAS, Owner 1 wishes to vacate the Setbacks so that they do not encumber the Owner 1 Parcel, and has requested the other Parties to agree to vacate the Setbacks. The other Parties are willing to agree to vacate the Setbacks.

WHEREAS, the Village of Addison's Zoning Ordinance governs the lots established by the Plat of Subdivision, including the requirements for minimum yard setbacks, notwithstanding the vacation of the Setbacks.

WHEREAS, the Parties wish to enter into this agreement to memorialize their agreement and consent to the release of the Setbacks which encumber the Owner 1 Parcel.

NOW, THEREFORE, in consideration of the foregoing Recitals (which are incorporated into this Agreement by this reference), and other good and valuable consideration, the Parties agree as follows:

1. Owner 1 Release. Owner 1 hereby consents to the vacation of the Setbacks on Lots 1 and 2 as of the Effective Date of this Agreement and hereby releases any right title or interest that it may have in and to the Setbacks as of the Effective Date of this Agreement.

2. Owner 2 Release. Owner 2 hereby consents to the vacation of the Setbacks encumbering the Owner 1 Parcel as of the Effective Date of this Agreement and hereby unconditionally releases any right title or interest that it may have in and to the Setbacks as of the Effective Date of this Agreement.

3. Owner 3 Release. Owner 3 hereby consents to the vacation of the Setbacks encumbering the Owner 1 Parcel as of the Effective Date of this Agreement and hereby unconditionally releases any right title or interest that it may have in and to the Setbacks as of the Effective Date of this Agreement.

4. Owner 4 Release. Owner 4 hereby consents to the vacation of the Setbacks encumbering the Owner 1 Parcel as of the Effective Date of this Agreement and hereby unconditionally releases any right title or interest that it may have in and to the Setbacks as of the Effective Date of this Agreement.

5. Owner 5 Release. Owner 5 hereby consents to the vacation of the Setbacks encumbering the Owner 1 Parcel as of the Effective Date of this Agreement and hereby unconditionally releases any right title or interest that it may have in and to the Setbacks as of the Effective Date of this Agreement.

6. Owner 6 Release. Owner 6 hereby consents to the vacation of the Setbacks on encumbering the Owner 1 Parcel as of the Effective Date of this Agreement and hereby unconditionally releases any right title or interest that it may have in and to the Setbacks as of the Effective Date of this Agreement.

7. Plat Modification. Owner 1 represents and warrants to the other Parties that a modification of the Plat of Subdivision is not necessary to remove and vacate the Setbacks. If any such modification becomes necessary under any applicable legal requirements, Owner 1 shall be responsible, at its sole cost and expense, for complying with any such requirements, including by

modifying the Plat of Subdivision to remove the requirement to maintain Setbacks under the Plat of Subdivision.

8. Counterparts. This Agreement may be executed in counterparts, each of which shall be deemed to be an original, but such counterparts when taken together shall constitute but one agreement.

9. Execution. For purposes of this Agreement, an executed Agreement transmitted via facsimile or pdf shall be treated in all manners and respects as an original document and any signature thereon shall be considered an original signature and shall have the same binding legal effect as the original document.

10. Successors Bound. This Agreement shall inure to the benefit of, and be binding upon, each and every successor, assignee and transferee of the Parties.

11. Governing Law. This Agreement shall be governed by and construed in accordance with the laws of the State of Illinois without regard to choice of law rules thereof.

[Signature pages follow]

IN WITNESS WHEREOF, the parties hereto have executed this Agreement as of the date first above written.

OWNER 1
ADDISON GREENBRIAR LLC, a Delaware limited liability company

By: [Signature]
Its: Officer

STATE OF Illinois)
) SS
COUNTY OF Cook)

I, the undersigned, a Notary Public, in and for the County and State aforesaid, DO HEREBY CERTIFY that Jim McGill personally known to me to be the Officer of Addison Greenbriar LLC, a Delaware limited liability company, and personally known to me to be the same person whose name is subscribed to the foregoing instrument, appeared before me this day in person and acknowledged that, as such Jim McGill, he/she signed and delivered said instrument as his/her free and voluntary act, and as the free and voluntary act and deed of said limited liability company, for the uses and purposes therein set forth.

GIVEN under my hand and official seal this 1st day of April, 2025.



Caroline Atout
Notary Public

My Commission Expires 8/24/25

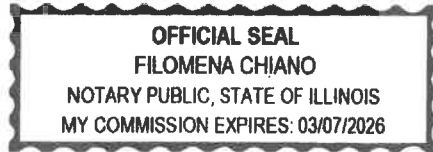
(SEAL)

OWNER 3
MEADOWS BUSINESS PARK PROPERTY
OWNERS' ASSOCIATION, an Illinois not for
profit
By: James G. Lang
Its: Agent

STATE OF ILLINOIS)
) SS
COUNTY OF DuPage)

I, the undersigned, a Notary Public, in and for the County and State aforesaid, DO
HEREBY CERTIFY that James G. Lang personally known to me to be the
Agent of Meadows Business Park Property Owners' Association, an Illinois
limited liability company, and personally known to me to be the same person whose name is
subscribed to the foregoing instrument, appeared before me this day in person and acknowledged
that, as such Agent, he/she signed and delivered said instrument as his/her
free and voluntary act, and as the free and voluntary act and deed of said limited liability
company, for the uses and purposes therein set forth.

GIVEN under my hand and official seal this 26 day of MARCH, 2025.



(SEAL)

Filomena Chiano
Notary Public
My Commission Expires 3/7/2026

OWNER 4
2251 ADDISON, LLC, an Illinois limited liability
company

[Handwritten Signature]
owner

By: _____
Its: _____

STATE OF ILLINOIS)
) SS
COUNTY OF COOK)

I, the undersigned, a Notary Public, in and for the County and State aforesaid, DO
HEREBY CERTIFY that Frank Venuti personally known to me to be the
Owner of 2251 Addison, LLC, an Illinois limited liability company, and
personally known to me to be the same person whose name is subscribed to the foregoing
instrument, appeared before me this day in person and acknowledged that, as such
Owner, he/she signed and delivered said instrument as his/her free and
voluntary act, and as the free and voluntary act and deed of said limited liability company, for the
uses and purposes therein set forth.

GIVEN under my hand and official seal this 15th day of April, 2025.



(SEAL)

Caroline Atout
Notary Public

My Commission Expires 8/24/25

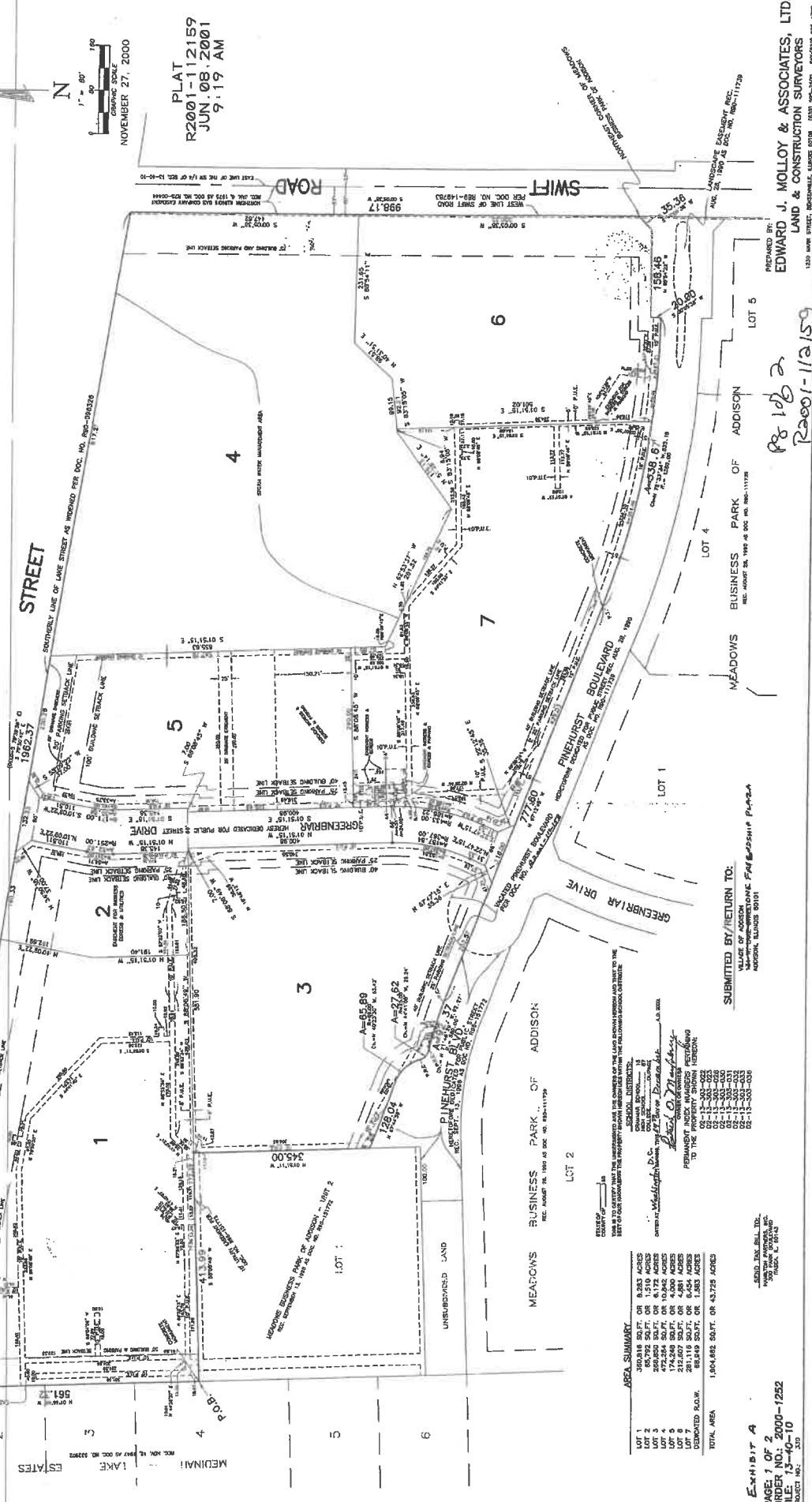
EXHIBIT A
PLAT OF SUBDIVISION

[attached]

MEADOWS BUSINESS PARK OF ADDISON UNIT 5

BEING A SUBDIVISION IN THE SOUTHWEST 1/4 OF SECTION 13
TOWNSHIP 40 NORTH, RANGE 10, EAST OF THE THIRD
PRINCIPAL MERIDIAN, IN DUPAGE COUNTY, ILLINOIS. (Mapas)

EXHIBIT A
5



AREA SUMMARY

LOT 1	300,000 SQ. FT. OR 6.832 ACRES
LOT 2	300,000 SQ. FT. OR 6.832 ACRES
LOT 3	300,000 SQ. FT. OR 6.832 ACRES
LOT 4	300,000 SQ. FT. OR 6.832 ACRES
LOT 5	300,000 SQ. FT. OR 6.832 ACRES
LOT 6	300,000 SQ. FT. OR 6.832 ACRES
LOT 7	300,000 SQ. FT. OR 6.832 ACRES
LOT 8	300,000 SQ. FT. OR 6.832 ACRES
LOT 9	300,000 SQ. FT. OR 6.832 ACRES
UNDEVELOPED BLDG.	88,138 SQ. FT. OR 2.013 ACRES
TOTAL AREA	1,804,888 SQ. FT. OR 41,278 ACRES

PREPARED BY:
EDWARD J. MOLLOY & ASSOCIATES, LTD.
LAND & CONSTRUCTION SURVEYORS
1320 LAKE STREET, DOWNERS GROVE, ILLINOIS 60155 (630) 995-3000 FAX(630) 995-3700

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R2001-112159

Public Record
Page 1 of 2

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LEGEND OF SYMBOLS & ABBREVIATIONS

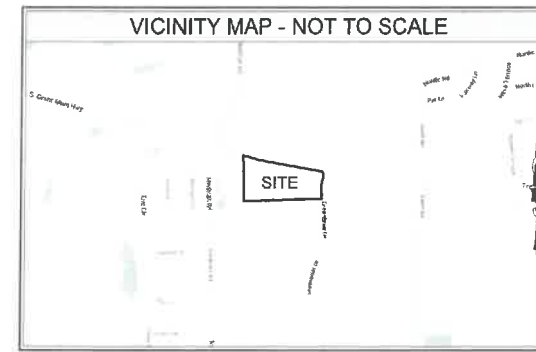
⊕ UTILITY POLE	⊙ MANHOLE	P.O.C. POINT OF COMMENCEMENT
⊕ LIGHT POLE	⊙ SANITARY MANHOLE	P.O.B. POINT OF BEGINNING
⊕ TRANSFORMER	⊙ STORM STRUCTURE (CLOSED)	' DEGREES
⊕ UTILITY PEDESTAL	⊙ STORM STRUCTURE (OPEN)	' FEET/MINUTES
⊕ HEAVY SIGNAL	⊙ CURB INLET	" INCHES/SECONDS
⊕ SIGNAL MOUNT	⊙ VALVE VAULT	SF. SQUARE FEET
⊕ UTILITY VAULT	⊙ CLEAN OUT	(REC) RECORD BEARING/DISTANCE
⊕ GAS VALVE	⊙ FLARED END SECTION	FF TOP OF FOUNDATION
⊕ WATER VALVE	⊙ WATER LINE	FF FINISHED FLOOR
⊕ ELECTRIC METER	⊙ TELEPHONE/CATV LINE	TP TOP OF PIPE
⊕ GAS METER	⊙ GAS LINE	B.S.L. BUILDING SETBACK LINE
⊕ FIRE HYDRANT	⊙ ELECTRIC LINE	P.U.E. PUBLIC UTILITY EASEMENT
⊕ AUTO SPARKLER	⊙ OVERHEAD WIRE	D.C. DRAINAGE EASEMENT
⊕ MONITORING WELL	⊙ STW- STORM SEWER	L ARC LENGTH
⊕ CHIMNEY LIGHT	⊙ SAN- SANITARY SEWER	R RADIIUS LENGTH
⊕ BOLLARD	⊙ CHAIN LINK FENCE	C CHORD LENGTH
⊕ B-BOX	⊙ STOCKADE FENCE	CR CHORD BEARING
⊕ SIGN	⊙ GUARD RAIL	CMP CORRUGATED METAL PIPE
⊕ FLAG POLE	⊙ IRON FENCE	CONCRETE SURFACE

SIGNIFICANT OBSERVATIONS

- A FENCE LIES OVER THE PROPERTY LINE.
- B CURB LIES OVER THE PROPERTY LINE.

ITEMS CORRESPONDING TO SCHEDULE B-II

- 8) TERMS, PROVISIONS AND CONDITIONS CONTAINED IN THE DECLARATION OF COVENANTS, CONDITIONS AND RESTRICTIONS FOR MEADOWS BUSINESS PARK, ENTERED INTO BY GENESIS TWO LIMITED PARTNERSHIP AND MEDINAH LAND LIMITED PARTNERSHIP, RELATING TO ARCHITECTURAL CONTROL, USE OF THE PROPERTY, MAINTENANCE, CREATION OF EASEMENTS OVER COMMON AREAS, ADMINISTRATION, ESTABLISHMENT OF MEADOWS BUSINESS PARK PROPERTY OWNER'S ASSOCIATION, AND CREATION OF ASSESSMENTS AND MAINTENANCE FUND AS STATED IN THE DOCUMENT DATED NOVEMBER 21, 1991, AND RECORDED DECEMBER 9, 1991 AS DOCUMENT NO. R91-164538; AS AMENDED BY AMENDED AND RESTATED DECLARATION OF COVENANTS, CONDITIONS AND RESTRICTIONS FOR THE MEADOWS BUSINESS PARK, RECORDED APRIL 18, 1994 AS DOCUMENT NO. R94-083796, AFORESAID RECORDS. ITEM IS BLANKET IN NATURE AND NOT SHOWN.
- 9) BUILDING LINE AS SHOWN ON PLAT OF MEADOWS BUSINESS PARK OF ADDISON UNIT 5, RECORDED JUNE 8, 2001 AS DOCUMENT NO. R2001-112159, AFORESAID RECORDS, AS FOLLOWS: 50 FEET ON THE WEST LINE AND 100 FEET ON THE NORTH LINE OF UNDERLYING LOT 1; 100 FEET ALONG THE NORTH LINE AND 40 FEET ALONG THE EASTERLY LINES OF UNDERLYING LOT 2. ITEM IS SHOWN.
- 10) PARKING SETBACK LINE AS SHOWN ON PLAT OF MEADOWS BUSINESS PARK OF ADDISON UNIT 5, RECORDED JUNE 8, 2001 AS DOCUMENT NO. R2001-112159, AFORESAID RECORDS, AS FOLLOWS: 50 FEET ON THE NORTH AND WEST LINES OF UNDERLYING LOT 1; 50 FEET ALONG THE NORTHERLY LINE AND 25 FEET ALONG THE EASTERLY LINES OF UNDERLYING LOT 2. ITEM IS SHOWN.
- 11) PUBLIC UTILITY EASEMENT AS SHOWN ON PLAT OF MEADOWS BUSINESS PARK OF ADDISON UNIT 5, RECORDED JUNE 8, 2001 AS DOCUMENT NO. R2001-112159, AFORESAID RECORDS, AS FOLLOWS: SEE PLAT FOR EXACT LOCATIONS AS TO UNDERLYING LOT 1; 10 FEET ALONG THE EASTERLY AND NORTHEASTERLY LINES, 5 FEET ALONG THE SOUTH LINE AND TWO 10 FOOT STRIPS IN THE SOUTHERLY PART OF UNDERLYING LOT 2; 10 FEET RUNNING THROUGH THE UNDERLYING LOT 1 THROUGH THE NORTHERLY, EASTERLY, WESTERLY AND SOUTHERLY PORTIONS OF THE LAND, SEE PLAT FOR EXACT LOCATION. ITEM IS SHOWN.
- 12) INGRESS, EGRESS, PARKING AND UTILITY EASEMENT AS SHOWN ON PLAT OF MEADOWS BUSINESS PARK OF ADDISON UNIT 5, RECORDED JUNE 8, 2001 AS DOCUMENT NO. R2001-112159, AFORESAID RECORDS, AS FOLLOWS: OVER ALL OF UNDERLYING LOT 2. ITEM IS SHOWN.
- 13) EASEMENT IN FAVOR OF THE VILLAGE OF ADDISON, THE COMMONWEALTH EDISON COMPANY, THE ILLINOIS BELL TELEPHONE COMPANY, NORTHERN ILLINOIS GAS COMPANY, CABLE TELEPHONE COMPANIES OPERATING UNDER FRANCHISES FROM THE VILLAGE OF ADDISON, AND THEIR RESPECTIVE SUCCESSORS AND ASSIGNS, TO INSTALL, OPERATE AND MAINTAIN ALL EQUIPMENT NECESSARY FOR THE PURPOSE OF SERVING THE LAND AND OTHER PROPERTY, TOGETHER WITH THE RIGHT OF ACCESS TO SAID EQUIPMENT, AND THE PROVISIONS RELATING THERETO AS SHOWN ON MEADOWS BUSINESS PARK OF ADDISON UNIT 5 PLAT RECORDED JUNE 8, 2001 AS DOCUMENT NO. R2001-112159, AFORESAID RECORDS. ITEM IS SHOWN.
- 14) STORM WATER MANAGEMENT AREA MAINTENANCE PROVISIONS AS SHOWN ON MEADOWS BUSINESS PARK OF ADDISON UNIT 5 PLAT RECORDED JUNE 8, 2001 AS DOCUMENT NO. R2001-112159, AFORESAID RECORDS. ITEM IS BLANKET IN NATURE AND NOT SHOWN.
- 15) TERMS, PROVISIONS, CONDITIONS AND LIMITATIONS CONTAINED IN ORDINANCE NO. 0-00-96, A COPY OF WHICH WAS RECORDED JUNE 8, 2001 AS DOCUMENT NO. R2001-112159, AFORESAID RECORDS, ENTITLED APPROVING PLAT OF SUBDIVISION (MEADOWS BUSINESS PARK OF ADDISON UNIT 5), ITEM IS BLANKET IN NATURE AND NOT SHOWN.
- 16) TERMS, PROVISIONS, CONDITIONS AND LIMITATIONS CONTAINED IN ORDINANCE NO. 0-02-39, A COPY OF WHICH WAS RECORDED JUNE 10, 2002 AS DOCUMENT NO. R2002-149894, AFORESAID RECORDS, ENTITLED ORDINANCE ACCEPTING GRANT OF PUBLIC UTILITIES EASEMENT. ITEM IS SHOWN.
- 17) UNRECORDED NON-EXCLUSIVE EASEMENT IN FAVOR OF THE VILLAGE OF ADDISON, A MUNICIPAL CORPORATION, AND ITS SUCCESSORS AND ASSIGNS, TO EXTEND FROM THEIR CURRENT LOCATION, THE PUBLIC SANITARY SEWER AND WATER MAINS IN, UNDER, ACROSS, ALONG AND UPON THE SURFACE, AND THE PROVISIONS RELATING THERETO AS DISCLOSED BY ORDINANCE NOTED HEREIN AS DOCUMENT R2002-149894 AFFECTING THAT PART OF THE LAND, DESCRIBED AS FOLLOWS: COMMENCING AT THE NORTHWEST CORNER OF AFORESAID LOT 1; THENCE SOUTH A DISTANCE OF 24.59 FEET FOR A POINT OF BEGINNING; THENCE EAST A DISTANCE OF 30.00 FEET; THENCE SOUTH A DISTANCE OF 220.00 FEET, MORE OR LESS; THENCE WEST A DISTANCE OF 20.00 FEET; THENCE NORTH A DISTANCE OF 134.00 FEET, MORE OR LESS; THENCE WEST A DISTANCE OF 10.00 FEET TO THE NORTHEAST CORNER OF THE SOUTH 150.00 FEET OF LOT 2 IN THE MEDINAH LAKE ESTATES SUBDIVISION OF THE SOUTHWEST 1/4 OF SECTION 13; THENCE NORTH A DISTANCE OF 86.00 FEET, MORE OR LESS TO THE POINT OF BEGINNING, AFORESAID RECORDS. ITEM IS SHOWN.
- 18) ORDINANCE NO. 0-11-08, DATED MARCH 7, 2011, AND RECORDED MARCH 17, 2011 AS DOCUMENT NO. R2011- 036787, AFORESAID RECORDS, APPROVING THE PLAT OF RESUBDIVISION FOR MEADOWS BUSINESS PARK OF ADDISON RESUBDIVISION NO. 2. ITEM IS BLANKET IN NATURE AND NOT SHOWN.
- 19) BUILDING LINES AND EASEMENTS SHOWN IN THE PLAT ATTACHED TO ORDINANCE NO. 0-11-08, DATED MARCH 7, 2011, AND RECORDED MARCH 17, 2011 AS DOCUMENT NO. R2011-036787, AFORESAID RECORDS, APPROVING THE PLAT OF RESUBDIVISION FOR MEADOWS BUSINESS PARK OF ADDISON RESUBDIVISION NO. 2. ITEM IS SHOWN.



AREA: 426,610.25 SF± OR 9.794 ACRES±

ZONING INFORMATION

THE SURVEYOR WAS NOT PROVIDED WITH THE ZONING INFORMATION.

EXISTING PARKING SPACE TABLE	
TYPE OF SPACE	TOTAL EXISTING
REGULAR	703
HANDICAP	12
TOTAL	715

MISCELLANEOUS NOTES

- MN1) SURVEY PREPARED BY: JLH LAND SURVEYING INC. 810 GENEVA STREET SHOREWOOD, IL 60404 815.728-4000 INFO@JLHSURVEY.COM
- MN2) ALL FIELD MEASUREMENTS MATCH RECORD DIMENSIONS WITHIN THE PRECISION REQUIREMENTS OF ALTA/NSPS SPECIFICATIONS.
- MN3) THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS MINIMUM STANDARDS FOR A BOUNDARY SURVEY.
- MN4) ALL STREETS SHOWN ARE PUBLIC RIGHT OF WAY, UNLESS OTHERWISE NOTED.
- MN5) ASSUMED BEARING: THE SOUTHERLY RIGHT OF WAY LINE OF W. LAKE STREET TO BE SOUTH 79 DEGREES 50 MINUTES 42 SECONDS EAST.
- MN6) AT THE TIME OF THIS SURVEY THERE IS NO RECORD OR OBSERVED EVIDENCE OF A CEMETERY OR BURIAL GROUND.
- MN7) AT THE TIME OF THIS SURVEY, THE ADDRESS WAS POSTED AS 2349 W. LAKE STREET.
- MN8) THE SUBJECT PROPERTY HAS ACCESS TO AND FROM WEST LAKE STREET (U.S. ROUTE 20) AND GREENBRIAR DRIVE WHICH ARE DEDICATED PUBLIC RIGHT OF WAYS.
- MN9) IN REGARDS TO TABLE "A" ITEM 10, AT THE TIME OF THIS SURVEY, THERE WERE NO PARTY WALLS DESIGNATED BY THE CLIENT TO REFERENCE HEREON.
- MN10) IN REGARDS TO TABLE "A" ITEM 11(a), AT THE TIME OF THIS SURVEY, NO PLANS AND/OR REPORTS WERE PROVIDED BY CLIENT. EVIDENCE OF UNDERGROUND UTILITIES SHOWN PER SECTION 5.E.IV.
- MN11) IN REGARDS TO TABLE "A" ITEM 16, AT THE TIME OF THIS SURVEY, THERE WAS NO VISIBLE EVIDENCE OF EARTH MOVING WORK, BUILDING CONSTRUCTION OR BUILDING ADDITIONS.
- MN12) IN REGARDS TO TABLE "A" ITEM 17, AT THE TIME OF THIS SURVEY, THERE WAS NO RECENT STREET OR SIDEWALK CONSTRUCTION OR PROPOSED RIGHT OF WAY CHANGES PROVIDED.

FLOOD NOTE:
BY GRAPHIC PLOTTING ONLY, THIS PROPERTY IS IN ZONE(S) X OF THE FLOOD INSURANCE RATE MAP, COMMUNITY PANEL No. 1704300088, WHICH BEARS AN EFFECTIVE DATE OF 08/01/2019, AND IS NOT IN A SPECIAL FLOOD HAZARD AREA, BY CONTACT DATED 08/22/2025 TO THE NATIONAL FLOOD INSURANCE PROGRAM <http://www.fema.gov>. WE HAVE LEARNED THIS COMMUNITY DOES CURRENTLY PARTICIPATE IN THE PROGRAM, NO FIELD SURVEYING WAS PERFORMED TO DETERMINE THIS ZONE AND AN ELEVATION CERTIFICATE MAY BE NEEDED TO VERIFY THIS DETERMINATION OR APPLY FOR A VARIANCE FROM THE FEDERAL EMERGENCY MANAGEMENT AGENCY.

RECORD DESCRIPTION

LOT 1 IN MEADOWS BUSINESS PARK OF ADDISON RESUBDIVISION NO. 2, BEING A CONSOLIDATION OF LOTS 1 AND 2 IN MEADOWS BUSINESS PARK OF ADDISON UNIT 5, A SUBDIVISION IN THE SOUTHWEST 1/4 OF SECTION 13, TOWNSHIP 40 NORTH, RANGE 10, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED MARCH 17, 2011, AS DOCUMENT NO. R2011-036787, IN DUPAGE COUNTY, ILLINOIS RECORDS.

THE LANDS SURVEYED, SHOWN AND DESCRIBED HEREON ARE THE SAME LANDS AS DESCRIBED IN THE TITLE COMMITMENT PROVIDED BY FIRST AMERICAN TITLE INSURANCE COMPANY, COMMITMENT NO. NCS-1248710-CH12, DATED AUGUST 12, 2025.

PROJECT REVISION RECORD

DATE	DESCRIPTION	DATE	DESCRIPTION
08/22/2025	FIRST DRAFT		
09/07/2025	COMMENTS		
FIELD WORK: JD & MC	DRAFTED: RH	CHECKED BY: JLH	FB & PG: N/A

LEGAL

THIS SURVEY WAS PREPARED FOR THE PURPOSE OF THIS REAL ESTATE TRANSACTION ONLY AND NO FURTHER PARTIES OTHER THAN THOSE CERTIFIED ABOVE SHALL RELY ON IT FOR ANY OTHER PURPOSE OR TRANSACTION.

ALTA/NSPS LAND TITLE SURVEY

for
2349 W LAKE ST
NV5 PROJECT NO. 202503060-001
2349 W LAKE ST, ADDISON, IL

BASED UPON TITLE COMMITMENT NO. NCS-1248710-CH12
OF FIRST AMERICAN TITLE INSURANCE COMPANY
BEARING A COMMITMENT DATE OF AUGUST 12, 2025

SURVEYOR'S CERTIFICATION

To: LPC ACQUISITION COMPANY, LLC; FIRST AMERICAN TITLE INSURANCE COMPANY; AND BOCK & CLARK CORPORATION, AN NV5 COMPANY;

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 6a, 6b, 7a, 7b1, 7c, 8, 9, 10, 11a, 13, 14, 16, 17, AND 19 OF TABLE A THEREOF. THE FIELD WORK WAS COMPLETED ON AUGUST 18, 2025.

PRELIMINARY

JAMES L. HARPOLE, PLS
ILLINOIS REGISTRATION NO. 035-3190
EXPIRES 11-30-2026
ILLINOIS PROFESSIONAL DESIGN FIRM NO. 184.007120
NETWORK PROJECT NO. 202503060-001 JNP

XX-XX-2025
DATE

SHEET 1 OF 2

Bock & Clark Corporation
an NV5 Company

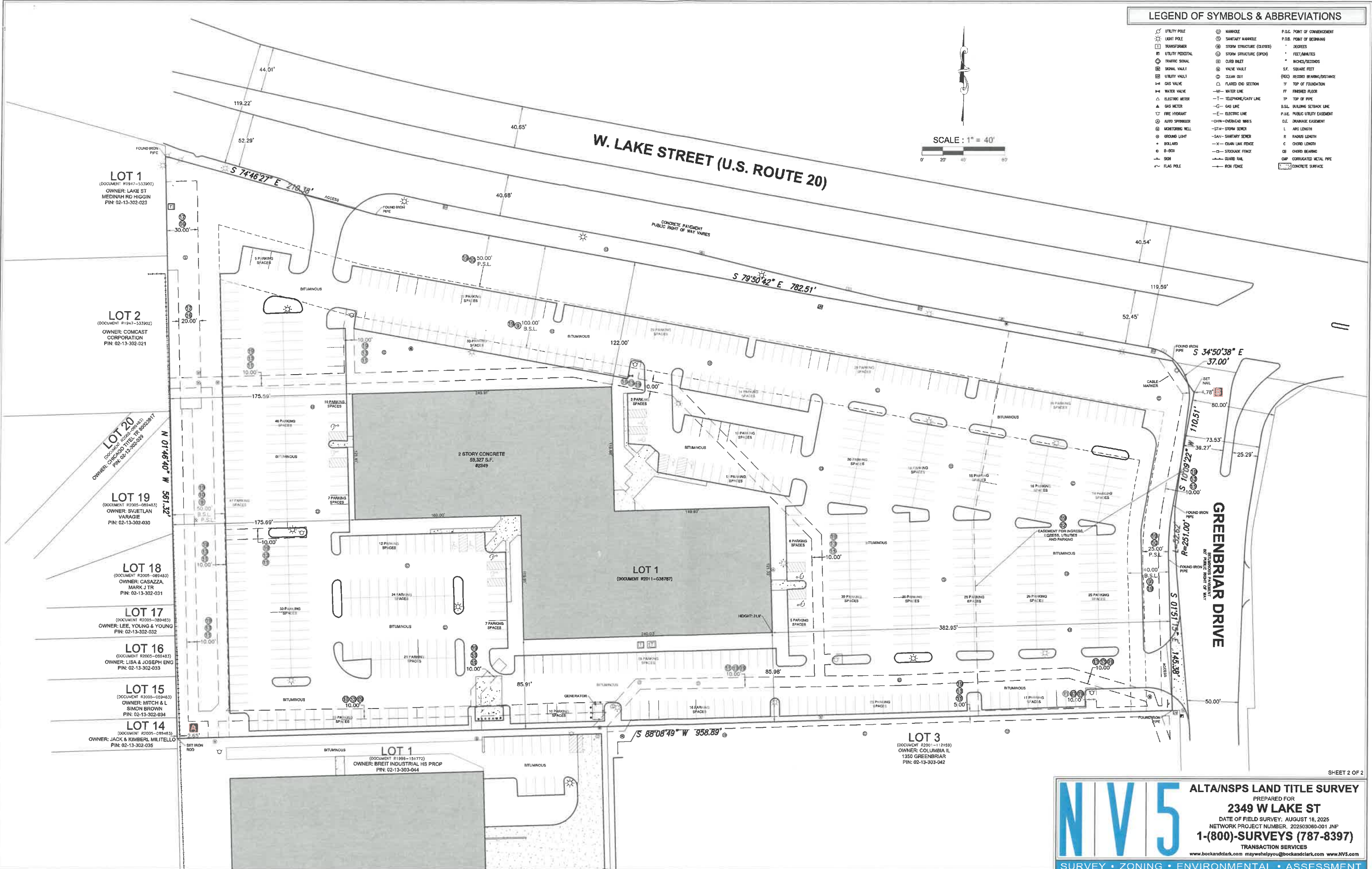


Transaction Services 1-800-SURVEYS (787-8397)
4580 Stephen Circle N.W., Suite 300, Canton, Ohio 44718
www.BockandClark.com maywehelpyou@bockandclark.com www.NV5.com

SURVEY • ZONING • ENVIRONMENTAL • ASSESSMENT

LEGEND OF SYMBOLS & ABBREVIATIONS

UTILITY POLE	MANHOLE	P.O.C. POINT OF COMMENCEMENT
LIGHT POLE	SANITARY MANHOLE	P.O.B. POINT OF BEGINNING
TRANSFORMER	STORM STRUCTURE (CLOSED)	' DEGREES
UTILITY PEDESTAL	STORM STRUCTURE (OPEN)	' FEET/INCHES
TRAFFIC SIGNAL	CURB INLET	" INCHES/SECONDS
SIGNAL SIGNAL	VALVE VAULT	S.F. SQUARE FEET
UTILITY VAULT	CLEAN OUT	(DEC) RECORD BEARING/DISTANCE
GAS VALVE	FLARED END SECTION	TF TOP OF FOUNDATION
WATER VALVE	WATER LINE	FF FINISHED FLOOR
ELECTRIC METER	TELEPHONE/CATV LINE	TP TOP OF PIPE
GAS METER	GAS LINE	D.S.L. BUILDING SETBACK LINE
FIRE HYDRANT	ELECTRIC LINE	P.U.E. PUBLIC UTILITY EASEMENT
AUTO SPRINKLER	OHM-OVERHEAD WIRE	D.E. DRAINAGE EASEMENT
MONITORING WELL	STM-STORM SEWER	L ARC LENGTH
GROUND LIGHT	SAV-SANITARY SEWER	R RADIUS LENGTH
BOLLARD	CHAIN LINK FENCE	C CHORD LENGTH
8-BOX	STOCKADE FENCE	CB CHORD BEARING
SIGN	GUARD RAIL	CMF CORRUGATED METAL PIPE
FLAG POLE	IRON FENCE	CONCRETE SURFACE



LOT 1
(DOCUMENT #1947-533902)
OWNER: LAKE ST
MEDINAH RD HIGGIN
PIN: 02-13-302-023

LOT 2
(DOCUMENT #1947-533902)
OWNER: COMCAST
CORPORATION
PIN: 02-13-302-021

LOT 20
(DOCUMENT #2005-089483)
OWNER: CHANG TITILE, TR 89028817
PIN: 02-13-302-049

LOT 19
(DOCUMENT #2005-089483)
OWNER: SVJETLAN
VARAGIE
PIN: 02-13-302-030

LOT 18
(DOCUMENT #2005-089483)
OWNER: CASAZZA,
MARK J TR
PIN: 02-13-302-031

LOT 17
(DOCUMENT #2005-089483)
OWNER: LEE, YOUNG & YOUNG
PIN: 02-13-302-032

LOT 16
(DOCUMENT #2005-089483)
OWNER: LISA & JOSEPH ENG
PIN: 02-13-302-033

LOT 15
(DOCUMENT #2005-089483)
OWNER: MITCH & L
SIMON BROWN
PIN: 02-13-302-034

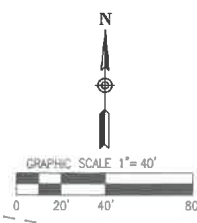
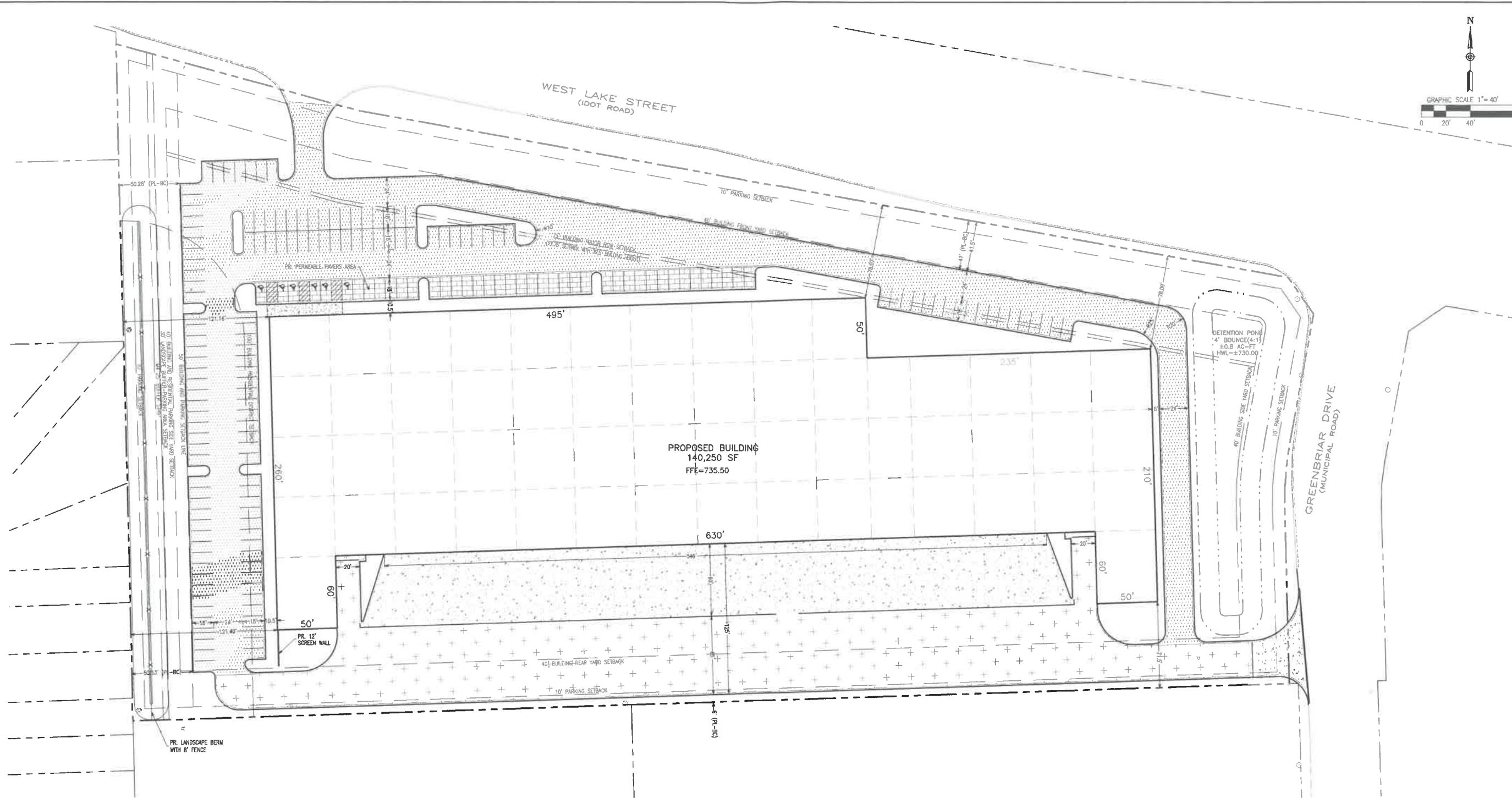
LOT 14
(DOCUMENT #2005-089483)
OWNER: JACK & KIMBERL MILTELLO
PIN: 02-13-302-035

LOT 1
(DOCUMENT #1996-151772)
OWNER: BREIT INDUSTRIAL HS PROP
PIN: 02-13-303-044






LOT 3
(DOCUMENT #2001-112159)
OWNER: COLUMBIA IL
1350 GREENBRIAR
PIN: 02-13-303-042

NV5 ALTA/NSPS LAND TITLE SURVEY
 PREPARED FOR
2349 W LAKE ST
 DATE OF FIELD SURVEY: AUGUST 18, 2025
 NETWORK PROJECT NUMBER: 202503060-001 JNP
1-(800)-SURVEYS (787-8397)
 TRANSACTION SERVICES
 www.bockandclark.com maywehelpyou@bockandclark.com www.NV5.com

SURVEY • ZONING • ENVIRONMENTAL • ASSESSMENT



PAVEMENT HATCH LEGEND:

-  ASPHALT PAVEMENT
-  HEAVY DUTY ASPHALT PAVEMENT
-  PERMEABLE PAVERS
-  HEAVY DUTY CONCRETE PAVEMENT
-  CONCRETE SIDEWALK

SITE DATA TABLE:

PROPERTY AREA:	9.79 ACRES
EXISTING IMPERVIOUS AREA: (70% IMPERVIOUS)	6.89 ACRES
PROPOSED IMPERVIOUS AREA: (70% IMPERVIOUS)	6.87 ACRES
PROPOSED PERMEABLE PAVERS AREA: (2% PERMEABLE PAVERS)	0.16 ACRES
PROPOSED PERVIOUS AREA: (28% PERVIOUS)	2.76 ACRES
PROPOSED BUILDING AREA:	140,250 SQ. FT.
EXISTING ZONING:	M4 - PLANNED OFFICE RESEARCH/INDUSTRIAL
FLOOR AREA RATIO: (M-4 MAX 0.50)	0.33
BUILDING SETBACKS:	
FRONT YARD:	40' (INCLUDING FENCES)
SIDE YARD:	40'
REAR YARD:	40' (+1/2" BUILDING ABOVE 35')
MAJOR STREET ROW LINE: RESIDENTIAL DISTRICT:	75' 100'
MAX. BUILDING HEIGHT:	65'

LANDSCAPING:
OFF-STREET PARKING AREA: 200 SF / EVERY 20 STALLS
ABUTTING RESIDENTIAL: 30' SETBACK 5' TALL HEDGE & FENCE

CAR PARKING REQUIRED: ±170 ASSUMED 4
MULTI-UNIT BUILDING: (8 SPACES/UNIT UP TO 3,000 SF)
(1 SPACES/1,000 SF OVER 3,000 SF)

TOTAL CAR PARKING PROVIDED: 180 STALLS
STANDARD PARKING PROVIDED: 174 STALLS
ADA PARKING PROVIDED: 6 STALLS

TOTAL TRUCK DOCKS: 36 DOCKS

No.	Description	Date
5	PER CLIENT	9/19/25
4	PER CLIENT	9/17/25
3	PER CLIENT	9/4/25
2	PER VILLAGE	8/21/25
1	CONCEPT PLANS	7/22/25

SITE PLAN
2349 LAKE STREET
LOGISTICS PROPERTY COMPANY LLC.
ADDISON, ILLINOIS

JACOB & HEFNER ASSOCIATES
1333 Butterfield Rd, Suite 300, Downers Grove, IL 60515
PHONE: (630) 652-4600, FAX: (630) 652-4601
www.jacobandhefner.com



H618
1" = 40'
C1

DEVELOPER



GENERAL CONTRACTOR

STRUCTURAL ENGINEER

ARCHITECT

DESIGN FROM 184.008507, EXPIRATION 4.30.2027



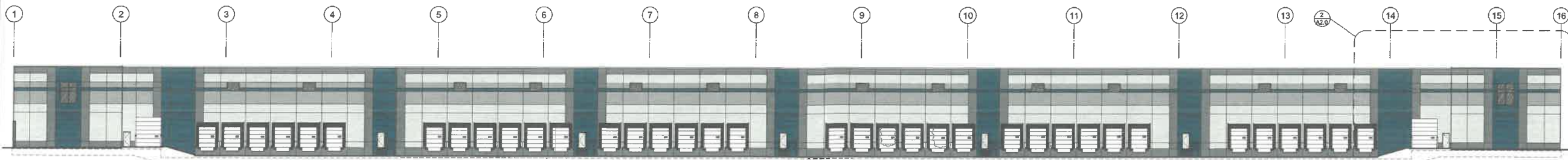
1320 NELSON CIRCLE
WHEATON, ILLINOIS 60189 - 847.624.4425
COPYRIGHT © 2025
BY ARCHITECTS PLUS DESIGN STUDIO, PLLC

NEW OFFICE WAREHOUSE FOR:
2349 W. LAKE STREET
LOGISTICS PROPERTY
COMPANY, LLC
ADDISON, ILLINOIS

DATE	DESCRIPTION
12.2025	FOR OWNER REVIEW
12.23.2025	FOR OWNER REVIEW

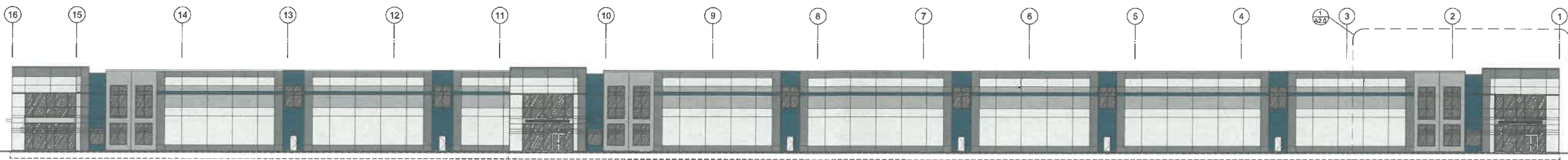
PROJECT NUMBER	2025.057
DATABASE	FLOOR.PDF
DRAWN BY	JM
CHECKED BY	JM

A-2.0



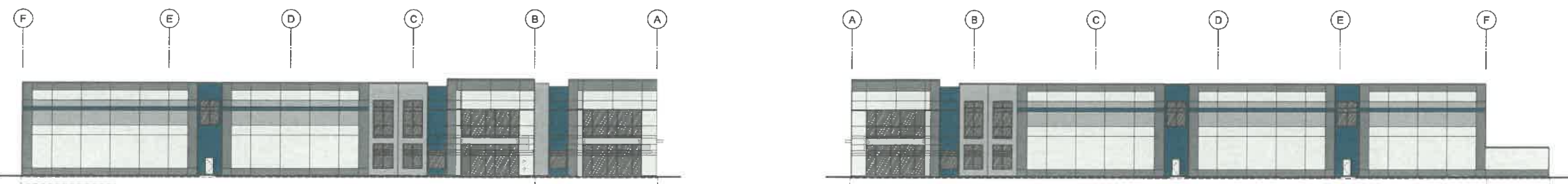
SOUTH ELEVATION

SCALE: 1" = 20'-0"



NORTH ELEVATION

SCALE: 1" = 20'-0"

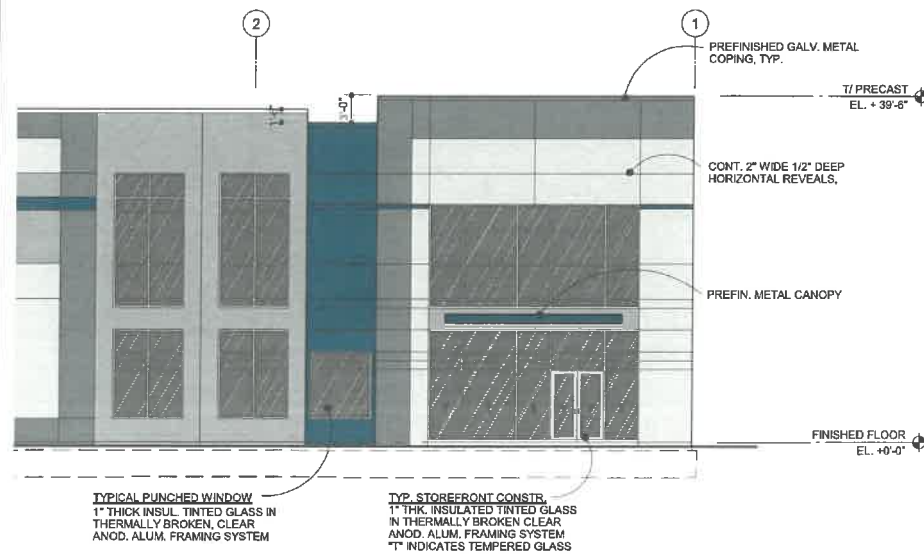


EAST ELEVATION

SCALE: 1" = 20'-0"

WEST ELEVATION

SCALE: 1" = 20'-0"



TYP. PUNCHED WINDOW
1" THICK INSUL. TINTED GLASS IN
THERMALLY BROKEN, CLEAR
ANOD. ALUM. FRAMING SYSTEM

TYP. STOREFRONT CONSTR.
1" THK. INSULATED TINTED GLASS
IN THERMALLY BROKEN CLEAR
ANOD. ALUM. FRAMING SYSTEM
** INDICATES TEMPERED GLASS

1 ENLARGED ENTRY ELEVATION

SCALE: 1/8" = 1'-0"



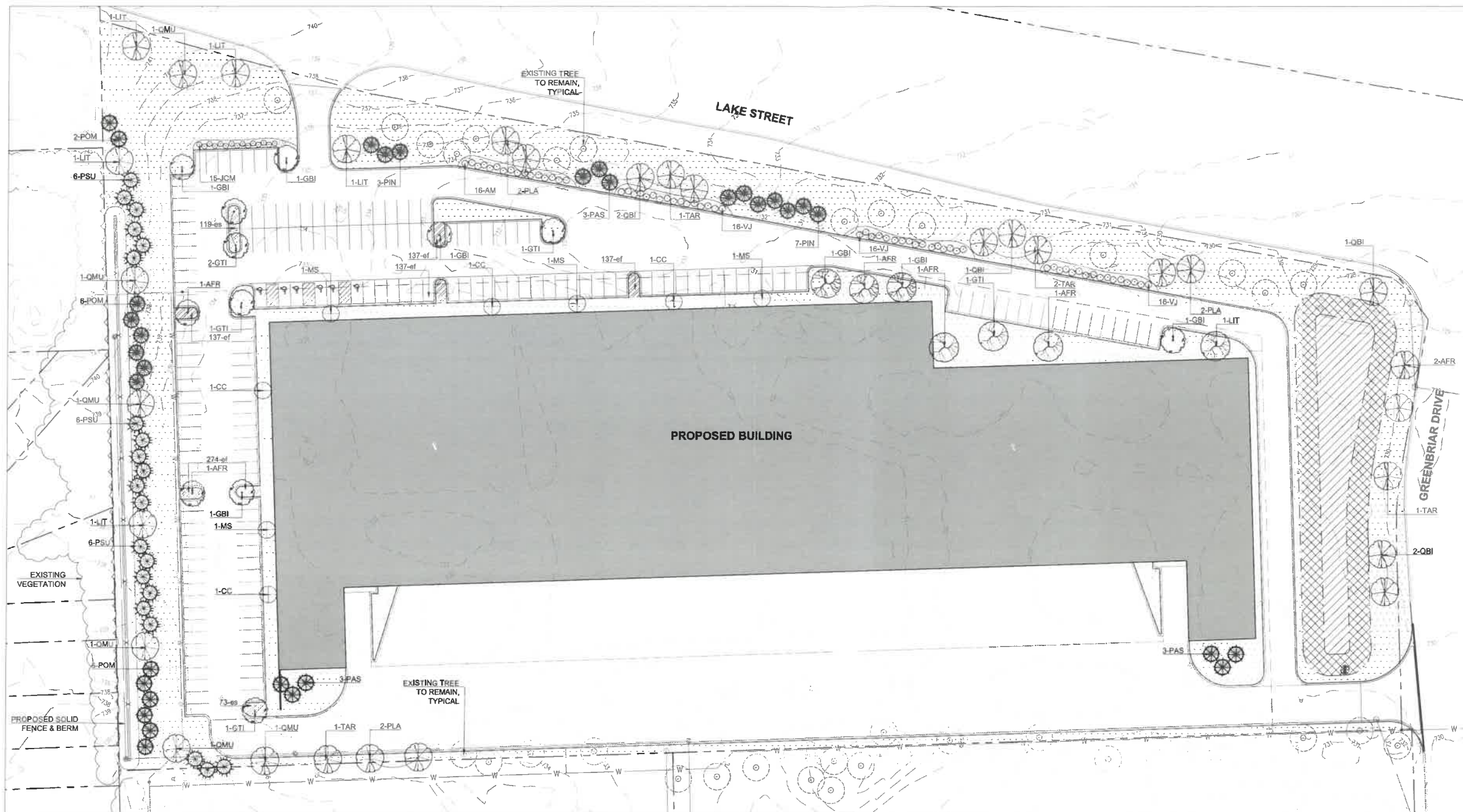
2 ENLARGED DOCK ELEVATION

SCALE: 1/8" = 1'-0"

COLOR LEGEND

EXTERIOR PRECAST TO BE COLORED WITH SUPER PAINT BY SHERWIN WILLIAMS, G.C. TO MATCH SHERWIN WILLIAMS COLORS SELECTED BELOW

- PRECAST CONCRETE WALL PANELS
SHERWIN WILLIAMS - SITE WHITE SW 7070
- PRECAST CONCRETE WALL PANELS
PANTONE - 422C
- PRECAST CONCRETE WALL PANELS
SHERWIN WILLIAMS - GIBRALTOR SW 6257
- PRECAST CONCRETE WALL PANELS
SHERWIN WILLIAMS - LOYAL BLUE
- FASCIA @ ENTRY
- FASCIA @ MAIN BUILDING
- STOREFRONT SYSTEM
FRAMES - BLACK ANODIZED ALUMINUM
INSUL. GLASS - GREY TINTED
- PUNCHED WINDOWS
FRAMES - BLACK ANODIZED ALUMINUM
INSUL. GLASS - GREY TINTED
- INSUL. MTL. DOORS/FRAMES
FRAME - PAINTED TO MATCH PRECAST
DOOR - PAINTED TO MATCH PRECAST
- OVERHEAD DOORS
DRIVE-IN DOORS - PREFINISHED WHITE
DOCK DOORS - PREFINISHED WHITE
- PIPE BOLLARDS
SAFETY YELLOW



PRELIMINARY LANDSCAPE PLAN

SCALE: 1" = 40'-0"



Village of Addison Landscape Ordinance Landscape requirement Summary			
	Required	Proposed	
General Setbacks and Yards			
Residential Adjacent Setback - 100% screening, fence, hedge, or berm	410 LF	410 LF	410 LF
R.O.W Landscaping (LF)			
10' Landscaped area adjacent to ROW	2450 LF		
Parking Screening	771 LF	771 LF	
Interior Parking Lot			
	171 Spaces		
Required Landscape	200 SF per 20 Spaces	1710 SF	6123 SF
Required Trees	1:30 Spaces	6	11

GROUND TREATMENT KEY

BASE OF DETENTION AREAS BELOW THE NWL
 Areas below the NWL to be planted with emergent plugs. See Sheet L2.0 for schedule and Sheet L2.1 for preferred installation method.

DETENTION AREAS BETWEEN THE NWL & HWL
 Area of detention between the NWL & HWL to be seeded with "Swale Seed Mix" as supplied by Stantec Native Plant Nursery. See Sheet L2.0 for schedule.

OPEN AREAS - NO MOW
 All open areas, not including detention, to be seeded with "Low-Profile Prairie Seed Mix" as supplied by Stantec Native Nursery. See Sheet L2.0 for schedule.

TURF GRASS - MOWED LAWN
 All areas of restoration, not designated to be planted or mulched, are to be seeded with standard turf seed grass and covered with an erosion control blanket.

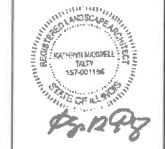
NOTE: All other areas disturbed by construction activities, excluding shrub beds, to be restored with turf grass seed and covered with an erosion control blanket.

Master Plant List						
Symbol	Quantity	Botanical Name	Common Name	Size	Origin	Notes
Shade Trees						
AFR	7	ACER X FREEMANII 'AUTUMN BLAZE'	AUTUMN BLAZE FREEMAN MAPLE	3" BB		
GBI	6	GINKGO BILOBA 'AUTUMN GOLD'	GINKGO	3" BB		MALE SPEC. ONLY
GTI	6	GLEDITSIA TRIACANTHOS 'SHADEMASTER'	SHADEMASTER HONEYLOCUST	3" BB		
LIT	6	LIRODENDRON TULIPIFERA	TULIPTREE	3" BB	NATIVE	
PLA	6	PLATANUS X ACERIFOLIA 'MORTON CIRC'	EXCLAMATION LONDON PLANETREE	3" BB		
QBI	6	QUERCUS BICOLOR	SWAMP WHITE OAK	3" BB	NATIVE	
QMU	6	QUERCUS MUEHLBERGII	CHINKAPIN OAK	3" BB	NATIVE	
TAR	6	TILIA AMERICANA 'REDMOND'	REDMOND AMERICAN LINDEN	3" BB	NATIVAR	
Evergreen Trees						
PAS	9	PICEA AIBES	NORWAY SPRUCE	8" BB		
POM	14	PICEA OMORIKA	SERBIAN SPRUCE	8" BB		
PIN	10	PINUS STROBUS	EASTERN WHITE PINE	8" BB		
PSU	18	PSEUDOTSUGA MENZIESII	DOUGLAS FIR	8" BB		
Ornamental Trees						
CC	4	CERCIS CANADENSIS	EASTERN REDBUD	8" BB	NATIVE	
MS	4	MALUS SARGENT	SARGENT CRABAPPLE	6" BB		
Evergreen Shrubs						
JCM	15	JUNIPERUS CHINENSIS 'MINT JULIP'	MINT JULIP SPREADING JUNIPER	24" BB		
Deciduous Shrubs						
AM	32	ARONIA MELANOCARPA 'IROQUOIS BEAU'	IROQUOIS BEAUTY BLACK CHOKEBERRY	5 GAL	NATIVAR	
VJ	32	VIBURNUM X JUDDI	JUDD VIBURNUM	36" BB		
Groundcover						
ef	685	ELYNOMIS FORTUNEI 'COLORATUS'	PURPLELEAF WINTERCREEPER	3" POTS		
es	192	ERAGROSTIS SPECTABILIS	PURPLE LOVEGRASS	3" POTS	NATIVE	

GENERAL CONSTRUCTION NOTES

- REQUIRED LANDSCAPE MATERIAL SHALL SATISFY AMERICAN ASSOCIATION OF NURSERYMEN STANDARDS AND BE STAKED, WRAPPED, WATERED AND MULCHED PER ORDINANCE.
- BEFORE ANY EXCAVATION ON THE SITE, CALL TO LOCATE ANY EXISTING UTILITIES ON THE SITE. THE CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH THE LOCATIONS OF ALL BURIED UTILITIES IN THE AREAS OF WORK BEFORE STARTING OPERATIONS. THE CONTRACTOR SHALL BE LIABLE FOR THE COST OF REPAIRING OR REPLACING ANY BURIED CONDUITS, CABLES OR PIPING DAMAGED DURING THE INSTALLATION OF THIS WORK.
- FOUR FOOT HIGH FENCING OR OTHER RIGID MATERIAL IS TO BE ERRECTED AROUND THE DRIP-LINE OF ALL TREES TO BE SAVED.
- PLANT QUANTITIES ON PLANT LIST INTENDED TO BE A GUIDE. ALL QUANTITIES SHALL BE CHECKED AND VERIFIED ON PLANTING PLAN. ANY DISCREPANCIES SHALL BE DISCUSSED WITH THE LANDSCAPE ARCHITECT.
- ANY DEVIATIONS FROM OR MODIFICATIONS TO THIS PLAN SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
- CONTRACTOR TO NOTIFY LANDSCAPE ARCHITECT UPON DELIVERY OF PLANT MATERIAL TO THE SITE. LANDSCAPE ARCHITECT RESERVES THE RIGHT TO REJECT ANY PLANT MATERIAL THAT DOESNT MEET STANDARDS OR SPECIFICATIONS OF THE PROJECT.
- ALL PLANT MATERIAL TO BE INSTALLED PER THE PLANTING DETAILS PROVIDED ON THIS PLAN SET.
- ALL BED EDGES TO BE WELL SHAPED, SPADE CUT, WITH LINES AND CURVES AS SHOWN ON THIS PLAN SET.
- ALL PLANTING BEDS TO BE PREPARED WITH PLANTING MIX: 50% TOPSOIL, 50% SOIL AMENDMENTS (3 PARTS PEATMOSS, 1 PART COMPOST, 1 PART SAND)
- ALL PARKING LOT ISLANDS SHALL BE BACKFILLED WITH THE FOLLOWING: 2" OF BLENDED GARDEN SOIL MIX (60% TOPSOIL, 30% COMPOST, 10% SAND) OR 6" OF ONE STEP BY MIDWEST TRADING, TOP DRESSED AND TILLED INTO 18" OF TOPSOIL.
- ALL SPECIFIED LANDSCAPE MATERIAL INDICATED ON THE CONSTRUCTION DOCUMENTS WILL BE REQUIRED TO BE MAINTAINED THROUGHOUT THE LIFE OF THE PROJECT AND MUST BE REPLACED SHOULD IT DIE OR BECOME DAMAGED.
- ALL PLANT MATERIAL SHALL HAVE A ONE YEAR GUARANTEE FROM SUBSTANTIAL COMPLETION AS DETERMINED BY THE LANDSCAPE ARCHITECT, AND SHALL BE REPLACED SHOULD IT DIE WITHIN THAT PERIOD.
- PROTECT STRUCTURES, SIDEWALKS, PAVEMENTS AND UTILITIES TO REMAIN FROM DAMAGE CAUSED BY SETTLEMENT, LATERAL MOVEMENT, UNDERMINING, WASHOUTS AND OTHER HAZARDS CAUSED BY SITE IMPROVEMENT OPERATIONS.
- ALL LAWN AREAS TO BE SEEDED WITH STANDARD TURF GRASS SEED AND COVERED WITH EROSION CONTROL BLANKET. UNLESS OTHERWISE SPECIFIED ON THE PLAN.
- ALL AREAS DISTURBED BY CONSTRUCTION ACTIVITIES, EXCLUDING SHRUB BEDS, TO BE RESTORED WITH TURF GRASS SEED AND COVERED WITH AN EROSION CONTROL BLANKET.
- CAREFULLY MAINTAIN PRESENT GRADE AT BASE OF ALL EXISTING TREES TO REMAIN. PREVENT ANY DISTURBANCE OF EXISTING TREES INCLUDING ROOT ZONES. USE TREE PROTECTION BARRICADES WHERE INDICATED. PROTECT EXISTING TREES TO REMAIN AGAINST UNNECESSARY CUTTING, BREAKING OR SKINNING OF ROOTS, BRUISING OF BARK OR SMOTHERING OF TREES. DRIVING, PARKING, DUMPING, STOCKPILING AND/OR STORAGE OF VEHICLES, EQUIPMENT, SUPPLIES, MATERIALS OR DEBRIS ON TOP THE ROOT ZONES AND/OR WITHIN THE DRIPLINE OF EXISTING TREES OR OTHER PLANT MATERIAL TO REMAIN IS STRICTLY PROHIBITED.
- THE CONTRACTOR AT ALL TIMES SHALL KEEP THE PREMISES ON WHICH WORK IS BEING DONE, CLEAR OF RUBBISH AND DEBRIS. ALL PAVEMENT AND DEBRIS REMOVED FROM THE SITE SHALL BE DISPOSED OF LEGALLY.
- ALL WORK AND OPERATIONS SHALL COMPLY WITH ALL APPLICABLE FEDERAL, STATE AND LOCAL CODES AND ORDINANCES.

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NO.	REVISION DESCRIPTION	DATE	INITIALS
	ISSUED FOR REVIEW		DSP

2349 LAKE STREET
ADDISON, ILLINOIS

**PRELIMINARY LANDSCAPE PLAN
 LANDSCAPE REQUIREMENTS
 GROUND TREATMENT KEY
 CONSTRUCTION NOTES**

date: 09-11-25
 drawn: DSP
 checked: KAT
 job no: **25430**
 sheet no: **L1.0**

LANDSCAPE MAINTENANCE SPECIFICATIONS

THE CONTRACTOR SHALL PROVIDE AS A SEPARATE BID, MAINTENANCE FOR A PERIOD OF 1 YEAR AFTER FINAL ACCEPTANCE OF THE PROJECT LANDSCAPING. THE CONTRACTOR MUST BE ABLE TO PROVIDE CONTINUED MAINTENANCE IF REQUESTED BY THE OWNER OR PROVIDE THE NAME OF A REPUTABLE LANDSCAPE CONTRACTOR WHO CAN PROVIDE MAINTENANCE.

STANDARDS

ALL LANDSCAPE MAINTENANCE SERVICES SHALL BE PERFORMED BY TRAINED PERSONNEL USING CURRENT, ACCEPTABLE HORTICULTURAL PRACTICES. ALL WORK SHALL BE PERFORMED IN A MANNER THAT MAINTAINS THE ORIGINAL INTENT OF THE LANDSCAPE DESIGN.
 ALL CHEMICAL APPLICATIONS SHALL BE PERFORMED IN ACCORDANCE WITH CURRENT COUNTY, STATE AND FEDERAL LAWS, USING EPA REGISTERED MATERIALS AND METHODS OF APPLICATION. THESE APPLICATIONS SHALL BE PERFORMED UNDER THE SUPERVISION OF A LICENSED CERTIFIED APPLICATOR.

APPROVALS

ANY WORK PERFORMED IN ADDITION TO THAT WHICH IS OUTLINED IN THE CONTRACT SHALL ONLY BE DONE UPON WRITTEN APPROVAL BY THE OWNER'S REPRESENTATIVE.
 ALL SEASONAL COLOR SELECTIONS SHALL BE APPROVED BY THE OWNER'S REPRESENTATIVE PRIOR TO ORDERING AND INSTALLATION.

SOIL TESTING

THE MAINTENANCE CONTRACTOR SHALL PERFORM SOIL TESTS AS NEEDED TO IDENTIFY ANY IMBALANCES OR DEFICIENCIES CAUSING PLANT MATERIAL DECLINE. THE OWNER SHALL BE NOTIFIED OF THE RECOMMENDATION FOR APPROVAL, AND THE NECESSARY CORRECTIONS MADE AT AN ADDITIONAL COST TO THE OWNER.

ACCEPTABLE SOIL TEST RESULTS:

	LANDSCAPE TREES & SHRUBS	TURF
PH RANGE	5.0-7.0	6.0-7.0
ORGANIC MATTER	>1.5%	>2.5%
MAGNESIUM (MG)	100+LBS./ACRE	150+LBS./ACRE
PHOSPHORUS (P2O5)	150+LBS./ACRE	150+LBS./ACRE
POTASSIUM (K2O)	120+LBS./ACRE	150+LBS./ACRE
SOLUBLE SALTS	NOT TO EXCEED 900PPM/1.9 MMHOS/CM IN SOIL, NOT TO EXCEED 1400 PPM/2.5 MMHOS/CM IN HIGH ORGANIC MIX	NOT TO EXCEED 750PPM/0.75 MMHOS/CM IN SOIL, NOT TO EXCEED 2000 PPM/2.0 MMHOS/CM IN HIGH ORGANIC MIX

FOR UNUSUAL SOIL CONDITIONS, THE FOLLOWING OPTIONAL TESTS ARE RECOMMENDED WITH LEVELS NOT TO EXCEED:

BORON	3 POUNDS PER ACRE
MANGANESE	50 POUNDS PER ACRE
POTASSIUM (K2O)	450 POUNDS PER ACRE
SODIUM	20 POUNDS PER ACRE

WORKMANSHIP

DURING LANDSCAPE MAINTENANCE OPERATIONS, ALL AREAS SHALL BE KEPT NEAT AND CLEAN. PRECAUTIONS SHALL BE TAKEN TO AVOID DAMAGE TO EXISTING STRUCTURES. ALL WORK SHALL BE PERFORMED IN A SAFE MANNER TO THE OPERATORS, THE OCCUPANTS AND ANY PEDESTRIANS.

UPON COMPLETION OF MAINTENANCE OPERATIONS, ALL DEBRIS AND WASTE MATERIAL SHALL BE CLEANED UP AND REMOVED FROM THE SITE, UNLESS PROVISIONS HAVE BEEN GRANTED BY THE OWNER TO USE ON-SITE TRASH RECEPTACLES. ANY DAMAGE TO THE LANDSCAPE, STRUCTURES, OR IRRIGATION SYSTEMS CAUSED BY THE MAINTENANCE CONTRACTOR, SHALL BE REPAIRED BY THE MAINTENANCE CONTRACTOR WITHOUT CHARGE TO THE OWNER.

GENERAL CLEAN UP
 PRIOR TO MOWING, ALL TRASH, STICKS, AND OTHER UNWANTED DEBRIS SHALL BE REMOVED FROM LAWNS, PLANT BEDS, AND PAVED AREAS.

MOWING
 TURF GRASSES, INCLUDING BLUE GRASS, TALL FESCUE, PERENNIAL RYEGRASS, ETC., SHALL BE MAINTAINED AT A HEIGHT OF 2" TO 3" IN SPRING AND FALL, FROM JUNE THROUGH SEPTEMBER. MOWING HEIGHT SHALL BE MAINTAINED AT NO LESS THAN 2".

THE MOWING OPERATION INCLUDES TRIMMING AROUND ALL OBSTACLES, RAKING EXCESSIVE GRASS CLIPPINGS AND REMOVING DEBRIS FROM WALKS, CURBS, AND PARKING AREAS. CAUTION: MECHANICAL WEEDERS SHOULD NOT BE USED AROUND TREES BECAUSE OF POTENTIAL DAMAGE TO THE BARK.

EDGING
 EDGING OF ALL SIDEWALKS, CURBS AND OTHER PAVED AREAS SHALL BE PERFORMED ONCE EVERY OTHER MOWING. DEBRIS FROM THE EDGING OPERATIONS SHALL BE REMOVED AND THE AREAS SWEEPED CLEAN. CAUTION SHALL BE USED TO AVOID FLYING DEBRIS.

FERTILIZING
 SEASONALLY STEPPED FERTILIZER SHALL BE APPLIED IN AREAS BASED ON THE EXISTING TURF SPECIES.

LAWN WEED CONTROL: HERBICIDES
 SELECTION AND PROPER USE OF HERBICIDES SHALL BE THE LANDSCAPE CONTRACTOR'S RESPONSIBILITY. ALL CHEMICAL APPLICATIONS SHALL BE PERFORMED UNDER THE SUPERVISION OF A LICENSED CERTIFIED APPLICATOR. READ THE LABEL PRIOR TO APPLYING ANY CHEMICAL.

INSECT & DISEASE CONTROL FOR TURF
 THE CONTRACTOR SHALL BE RESPONSIBLE FOR MONITORING THE SITE CONDITIONS ON EACH VISIT TO DETERMINE IF ANY INSECT PEST OR DISEASE PROBLEMS EXIST. THE CONTRACTOR SHALL IDENTIFY THE INSECT PEST OR DISEASE, AS WELL AS THE HOST PLANT, AND THEN CONSULT THE MOST CURRENT EDITION OF THE COOPERATIVE EXTENSION SERVICES' "COMMERCIAL INSECTICIDE RECOMMENDATION FOR TURF" FOR CONTROL. THE LICENSED APPLICATOR SHALL BE FAMILIAR WITH THE LABEL PROVIDED FOR THE SELECTED PRODUCT PRIOR TO APPLICATION.

INSPECTION AND TREATMENT TO CONTROL INSECT PESTS SHALL BE INCLUDED IN THE CONTRACT PRICE.

PRUNING
 ALL ORNAMENTAL TREES, SHRUBS AND GROUND COVER SHALL BE PRUNED WHEN APPROPRIATE TO REMOVE DEAD OR DAMAGED BRANCHES, DEVELOP THE NATURAL SHAPES. DO NOT SHEAR TREES OR SHRUBS. IF PREVIOUS MAINTENANCE PRACTICE HAS BEEN TO SHEAR AND BALL, THEN A NATURAL SHAPE WILL BE RESTORED GRADUALLY.

- PRUNING GUIDELINES:**
- PRUNE PLANTS THAT FLOWER BEFORE THE END OF JUNE (SPRING BLOOMING) IMMEDIATELY AFTER FLOWERING. FLOWER BUDS DEVELOP DURING THE PREVIOUS GROWING SEASON. FALL, WINTER OR SPRING PRUNING WOULD REDUCE THE SPRING FLOWERING DISPLAY.
 - PRUNE PLANTS THAT FLOWER IN JULY - SEPTEMBER (SUMMER OR AUTUMN BLOOMING) IN WINTER OR SPRING BEFORE NEW GROWTH BEGINS, SINCE THESE PLANTS DEVELOP FLOWERS ON NEW GROWTH.
 - DELAY PRUNING PLANTS GROWN FOR ORNAMENTAL FRUITS, SUCH AS COTONEASTERS AND VIBURNUMS.
 - HOLLIES AND OTHER EVERGREENS MAY BE PRUNED DURING WINTER IN ORDER TO VIBURNUMS FOR SEASONAL DECORATION. HOWEVER, SEVERE PRUNING OF EVERGREENS SHOULD BE DONE IN EARLY SPRING ONLY.
 - BROADLEAF EVERGREEN SHRUBS SHALL BE HAND-PRUNED TO MAINTAIN THEIR NATURAL APPEARANCE AFTER THE NEW GROWTH HARDENS OFF.
 - HEDGES OR SHRUBS THAT REQUIRE SHEARING TO MAINTAIN A FORMAL APPEARANCE SHALL BE PRUNED AS REQUIRED. DEAD WOOD SHALL BE REMOVED FROM SHEARED PLANTS BEFORE THE FIRST SHEARING OF THE SEASON.
 - CONIFERS SHALL BE PRUNED, IF REQUIRED, ACCORDING TO THEIR GENUS.
 - YEW, JUNIPERS, HEMLOCKS AND ARBORVITAE MAY BE PRUNED AFTER NEW GROWTH HAS HARDENED OFF IN LATE SUMMER. IF SEVERE PRUNING IS NECESSARY, IT MUST BE DONE IN EARLY SPRING.
 - FIR AND SPRUCES MAY BE LIGHTLY PRUNED IN LATE SUMMER, FALL, OR WINTER AFTER COMPLETING GROWTH. LEAVE SIDE BUDS. NEVER CUT CENTRAL LEADER.
 - PINES MAY BE LIGHTLY PRUNED IN EARLY JUNE BY REDUCING CANDLES.
 - GROUND-COVER SHALL BE EDGED AND PRUNED AS NEEDED TO CONTAIN IT WITHIN ITS BORDERS.
 - THINNING: REMOVE BRANCHES AND WATER SPROUTS BY CUTTING THEM BACK TO THEIR POINT OF ORIGIN ON PARENT STEMS. THIS METHOD RESULTS IN A MORE OPEN PLANT, WITHOUT STIMULATING EXCESSIVE GROWTH. THINNING IS USED ON CRAB APPLES, LILACS, VIBURNUMS, ETC.
 - RENEWAL PRUNING: REMOVE OLDEST BRANCHES OF SHRUB AT GROUND, LEAVING THE YOUNGER, MORE VIGOROUS BRANCHES. ALSO REMOVE WEAK STEMS. ON OVERGROWN PLANTS, THIS METHOD MAY BE BEST DONE OVER A THREE-YEAR PERIOD. RENEWAL PRUNING MAY BE USED ON FORSYTHIA, HYDRANGEA, SPIRAEA, ETC.

PLANTS OVERHANGING PASSAGEWAYS AND PARKING AREAS AND DAMAGED PLANTS SHALL BE PRUNED AS NEEDED.

SHADE TREES THAT CANNOT BE ADEQUATELY PRUNED FROM THE GROUND SHALL NOT BE INCLUDED IN THE MAINTENANCE CONTRACT. A CERTIFIED ARBORIST UNDER A SEPARATE CONTRACT SHALL PERFORM THIS TYPE OF WORK.

SPRING CLEANUP
 PLANT BEDS SHALL RECEIVE A GENERAL CLEANUP BEFORE FERTILIZING AND MULCHING. CLEANUP INCLUDES REMOVING DEBRIS AND TRASH FROM BEDS AND CUTTING BACK HERBACEOUS PERENNIALS LEFT STANDING THROUGH WINTER, E.G. ORNAMENTAL GRASSES, SEDUM AUTUMN JOY.

FERTILIZING
 FOR TREES, THE RATE OF FERTILIZATION DEPENDS ON THE TREE SPECIES, TREE VIGOR, AREA AVAILABLE FOR FERTILIZATION, AND GROWING STAGE OF THE TREE. MATURE SPECIMENS BENEFIT FROM FERTILIZATION EVERY 3 TO 4 YEARS, YOUNGER TREES SHALL BE FERTILIZED MORE OFTEN DURING RAPID GROWTH STAGES.

THE CURRENT RECOMMENDATION IS BASED ON THE RATE OF 1000 SQUARE FEET OF AREA UNDER THE TREE TO BE FERTILIZED. FOR DECIDUOUS TREES, 2 TO 6 POUNDS OF NITROGEN PER 1000 SQUARE FEET; FOR NARROW-LEAF EVERGREENS, 1 TO 4 POUNDS OF NITROGEN PER 1000 SQUARE FEET; FOR BROADLEAF EVERGREENS, 1 TO 3 POUNDS OF NITROGEN PER 1000 SQUARE FEET.

SHRUBS AND GROUND-COVER SHALL BE TOP-DRESSED WITH COMPOST 1" DEEP OR FERTILIZED ONCE IN MARCH WITH 10-54 ANALYSIS FERTILIZER AT THE RATE OF 3 POUNDS PER 100 SQUARE FEET OF BED AREA. ERCAECIOUS MATERIAL SHALL BE FERTILIZED WITH AN ERCAECIOUS FERTILIZER AT THE MANUFACTURER'S RECOMMENDATION RATE. IF PLANTS ARE GROWING POORLY, A SOIL SAMPLE SHOULD BE TAKEN.

TREES, SHRUBS, & GROUND COVER (CONT.)
MULCHING
 ANNUALLY, ALL TREE AND SHRUB BEDS WILL BE PREPARED AND MULCHED, TO A MINIMUM DEPTH OF 3" WITH QUALITY MULCH TO MATCH EXISTING BED PREPARATION SHALL INCLUDE REMOVING ALL WEEDS, CLEANING UP SAID BED, EDGING AND CULTIVATING DECAYED MULCH INTO THE SOIL. DEBRIS FROM EDGING IS TO BE REMOVED FROM BEDS WHERE APPLICABLE. IF DEEMED NECESSARY, A PRE-EMERGENT HERBICIDE MAY BE APPLIED TO THE SOIL TO INHIBIT THE GROWTH OF FUTURE WEEDS.
 ORGANICALLY MAINTAINED GARDENS SHALL NOT RECEIVE ANY PRE-EMERGENT HERBICIDES. MULCH IN EXCESS OF 4" WILL BE REMOVED FROM THE BED AREAS. SPECIAL CARE SHALL BE TAKEN IN THE MULCHING OPERATION NOT TO OVER-MULCH OR COVER THE BASE OF TREES AND SHRUBS. THIS CAN BE DETRIMENTAL TO THE HEALTH OF THE PLANTS.

WEEDING
 ALL BEDS SHALL BE WEEDED ON A CONTINUOUS BASIS THROUGHOUT THE GROWING SEASON TO MAINTAIN A NEAT APPEARANCE AT ALL TIMES. PRE-EMERGENT (SOIL-APPLIED) AND POST-EMERGENT (FOLIAR-APPLIED) HERBICIDES SHALL BE USED WHERE AND WHEN APPLICABLE AND IN ACCORDANCE WITH THE PRODUCT'S LABEL.

INSECT & DISEASE CONTROL: TREES, SHRUBS & GROUND-COVER
 THE MAINTENANCE CONTRACTOR SHALL BE RESPONSIBLE FOR MONITORING THE LANDSCAPE SITE ON A REGULAR BASIS. THE MONITORING FREQUENCY SHALL BE MONTHLY EXCEPT FOR GROWING SEASON, WHICH WILL BE EVERY OTHER WEEK. TRAINED PERSONNEL SHALL MONITOR FOR PLANT DAMAGING INSECT ACTIVITY, PLANT PATHOGENIC DISEASES AND POTENTIAL CULTURAL PROBLEMS IN THE LANDSCAPE. THE PEST OR CULTURAL PROBLEM WILL BE IDENTIFIED UNDER THE SUPERVISION OF THE CONTRACTOR.

FOR PLANT DAMAGING INSECTS AND MITES IDENTIFIED IN THE LANDSCAPE, THE CONTRACTOR SHALL CONSULT AND FOLLOW THE RECOMMENDATIONS OF THE MOST CURRENT EDITION OF THE STATE COOPERATIVE SERVICE PUBLICATION ON INSECT CONTROL ON LANDSCAPE PLANT MATERIAL.

PLANT PATHOGENIC DISEASE PROBLEMS IDENTIFIED BY THE CONTRACTOR THAT CAN BE RESOLVED BY PRUNING OR PHYSICAL REMOVAL OF DAMAGED PLANT PARTS WILL BE PERFORMED AS PART OF THE CONTRACT. FOR AN ADDITIONAL CHARGE, PLANT PATHOGENIC DISEASES THAT CAN BE RESOLVED THROUGH PROPERLY TIMED APPLICATIONS OF FUNGICIDES SHALL BE MADE WHEN THE OWNER AUTHORIZES IT.

IF THE CONTRACTOR NOTES AN ESPECIALLY INSECT-OR DISEASE-PRONE PLANT SPECIES IN THE LANDSCAPE, HE/SHE WILL SUGGEST REPLACEMENT WITH A MORE PEST-RESISTANT CULTIVAR OR SPECIES THAT IS CONSISTENT WITH THE INTENT OF THE LANDSCAPE DESIGN.

NOTE: FOR IDENTIFICATION OF PLANT-DAMAGING INSECTS AND MITES, A REFERENCE TEXTBOOK THAT CAN BE USED IS INSECTS THAT FEED ON TREES AND SHRUBS BY JOHNSON AND LYON, COMSTOCK PUBLISHING ASSOCIATES. FOR PLANT PATHOGENIC DISEASES, TWO REFERENCES ARE SUGGESTED: SCOUTING AND CONTROLLING WOODY ORNAMENTAL DISEASES IN LANDSCAPES AND NURSERIES, AUTHORIZED BY GARY MOORMAN, PUBLISHED BY PENN STATE COLLEGE OF AGRICULTURAL SCIENCES, AND DISEASES OF TREES AND SHRUBS BY SINCLAIR AND LYON, PUBLISHED BY COMSTOCK PUBLISHING PRESS.

TRASH REMOVAL
 THE MAINTENANCE CONTRACTOR SHALL REMOVE TRASH FROM ALL SHRUB AND GROUND-COVER BEDS WITH EACH VISIT.

LEAF REMOVAL
 ALL FALLEN LEAVES SHALL BE REMOVED FROM THE SITE IN NOVEMBER AND ONCE IN DECEMBER. IF REQUESTED BY THE OWNER, THE MAINTENANCE CONTRACTOR, AT AN ADDITIONAL COST TO THE OWNER SHALL PERFORM SUPPLEMENTAL LEAF REMOVALS.

WINTER CLEAN-UP
 THE PROJECT SHALL RECEIVE A GENERAL CLEAN-UP ONCE DURING EACH OF THE WINTER MONTHS, I.E., JANUARY, FEBRUARY, AND MARCH.
CLEAN-UP INCLUDES:

- CLEANING CURBS AND PARKING AREAS
- REMOVING ALL TRASH AND UNWANTED DEBRIS
- TURNING MULCH WHERE NECESSARY
- INSPECTION OF GROUNDS

SEASONAL COLOR: PERENNIALS, ANNUALS, AND BULBS
 THE INSTALLATION OF PERENNIALS, ANNUALS, AND BULBS, UNLESS SPECIFIED HEREIN, SHALL BE REVIEWED WITH THE OWNER, AND, IF ACCEPTED, INSTALLED AND BILLED TO THE OWNER.

SEASONAL COLOR MAINTENANCE
PERENNIALIZATION OF BULBS:

- AFTER FLOWERING, CUT OFF SPENT FLOWER HEADS.
- ALLOW LEAVES OF DAFFODILS AND HYACINTHS TO REMAIN FOR SIX WEEKS AFTER FLOWERS HAVE FADED. CUT OFF AT BASE.
- ALLOW LEAVES OF OTHER BULBS TO YELLOW NATURALLY AND THEN CUT OFF AT BASE.
- APPLY FERTILIZER AFTER FLOWERING IN SPRING, POSSIBLY AGAIN IN FALL. APPLY 10-10-10 AT THE RATE OF 2 POUNDS PER 1000 SQUARE FEET OR TOP-DRESS WITH COMPOST 1" DEEP. FALL FERTILIZATION WITH A BULB FERTILIZER OR MULCHING WITH 1" OF COMPOST IS OPTIONAL.

FLOWER ROTATION:

- BULBS:** REMOVE THE ENTIRE PLANT AND BULB AFTER FLOWERS HAVE FADED OR AT THE DIRECTION OF THE OWNER AND INSTALL NEW PLANTS IF INCLUDED IN CONTRACT.
- SUMMER ANNUALS OR FALL PLANTS:**
 - DEAD HEADING: PINCH AND REMOVE DEAD FLOWERS ON ANNUALS AS NECESSARY.
 - FERTILIZING SUMMER ANNUALS: FERTILIZE USING ONE OR TWO METHODS: APPLY A SLOW-RELEASE FERTILIZER IN MAY FOLLOWING MANUFACTURER'S RECOMMENDATIONS. A BOOSTER SUCH AS 10-10-10 MAY BE NECESSARY IN LATE SUMMER. OR, APPLY LIQUID FERTILIZATIONS OF 20-20-20 WATER-SOLUBLE FERTILIZERS, NOT TO EXCEED 2 POUNDS OF 20-20-20 PER 100 GALLONS OF WATER, MONTHLY, OR MULCH WITH COMPOST 1" DEEP.
 - REMOVAL: IF FALL PLANTS ARE TO BE INSTALLED, SUMMER ANNUALS SHALL BE LEFT IN THE GROUND UNTIL THE FIRST KILLING FROST AND THEN REMOVED, UNLESS OTHERWISE DIRECTED BY THE OWNER.

PERENNIALS:

- AFTER INITIAL INSTALLATION, IF A TIME-RELEASED FERTILIZER HAS BEEN INCORPORATED DURING PLANT INSTALLATION, NO MORE FERTILIZER NEED BE APPLIED THE FIRST GROWING SEASON.
- THE FOLLOWING YEAR:
 - FERTILIZE PERENNIALS WITH A SLOW-RELEASE FERTILIZER OR ANY 50% ORGANIC FERTILIZER, OR MULCH PERENNIALS WITH COMPOST 1" DEEP.
 - CUT ALL DECIDUOUS PERENNIALS FLUSH TO THE GROUND BY MARCH 1, IF THIS WAS NOT DONE THE PREVIOUS FALL, TO ALLOW NEW GROWTH TO DEVELOP FREELY.
 - MULCH THE PERENNIAL BED ONCE IN EARLY SPRING AT 1"-2" DEPTH. IF SOIL IS BARED IN LATE FALL, RE-MULCH LIGHTLY AFTER GROUND IS FROZEN TO PROTECT PERENNIALS.
 - INSPECT FOR INSECT OR DISEASE PROBLEMS ON PERENNIALS. MONITOR AND CONTROL SLICHS ON HOSTAS AND LIGULARIAS, POWDERY MILDEW ON PHLOX, MONARDAS, AND ASTERS CAN BE PREVENTED WITH PROPERLY TIMED FUNGICIDES OR USE OF DISEASE-RESISTANT VARIETIES.
 - WEED PERENNIAL BED AS SPECIFIED IN "WEEDING" ABOVE.
 - PRUNE BRANCHING SPECIES TO INCREASE DENSITY. CUT ONLY THE FLOWERING STEMS AFTER BLOOMING. DO NOT REMOVE THE FOLIAGE.
- THE FOLLOWING FALL CUT BACK DETERIORATING PLANT PARTS UNLESS INSTRUCTED TO RETAIN FOR WINTER INTEREST. E.G. SEDUM AUTUMN JOY AND ORNAMENTAL GRASSES.
- LONG-TERM CARE:
 - DIVIDE PLANTS THAT OVERCROWD THE SPACE PROVIDED. DIVIDE ACCORDING TO THE SPECIES. SOME NEED FREQUENT DIVIDING, E.G. ASTERS AND YARROW EVERY TWO YEARS; OTHER RARELY, IF EVER, E.G. PEONIES, HOSTAS, AND ASTILBE.
 - FOR DETAILED INFORMATION REGARDING THE CARE OF SPECIFIC PERENNIALS, REFER TO ALL ABOUT PERENNIALS BY ORTHO; PERENNIALS: HOW TO SELECT, GROW AND ENJOY BY PAMELA HARPER AND FREDERICK MCGOULTY, HP BOOKS PUBLISHER; HERBACEOUS PERENNIAL PLANTS: A TREATISE ON THEIR IDENTIFICATION, CULTURE AND GARDEN ATTRIBUTES BY ALLAN ARMITAGE, STIPES PUB LLC.

SUMMARY OF MAINTENANCE

LAWN MAINTENANCE

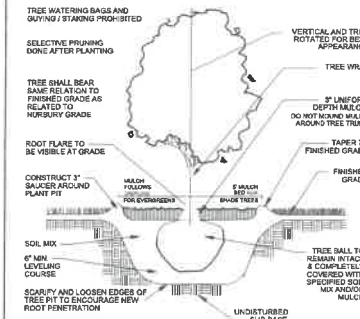
- SOIL ANALYSIS PERFORMED ANNUALLY TO DETERMINE PH. IF PH DOES NOT FALL WITHIN SPECIFIED RANGE, ADJUST ACCORDING TO SOIL TEST RECOMMENDATIONS.
- MAINTAIN PROPER FERTILITY AND PH LEVELS OF THE SOIL TO PROVIDE AN ENVIRONMENT CONDUCTIVE TO TURF VITALITY FOR TURF GRASSES.
- MOW TURF ON A REGULAR BASIS AND AS SEASON AND WEATHER DICTATES. REMOVE NO MORE THAN THE TOP 1/3 OF LEAF BLADE. CLIPPINGS ON PAVED AND BED AREAS WILL BE REMOVED.
- AERATE WARM SEASON TURF AREAS TO MAINTAIN HIGH STANDARDS OF TURF APPEARANCE.
- APPLY PRE-EMERGENT TO TURF IN TWO APPLICATIONS IN EARLY FEBRUARY AND EARLY APRIL TO EXTEND BARRIER.
- APPLY POST EMERGENT AS NEEDED TO CONTROL WEEDS.
- MECHANICALLY EDGE CURBS AND WALKS.
- APPLY NON-SELECTIVE HERBICIDE, TO MULCHED BED AREAS AND PAVEMENT AND REMOVE EXCESS RUNNERS TO MAINTAIN CLEAN DEFINED BEDS.

TREE, GROUND-COVER AND SHRUB BED MAINTENANCE

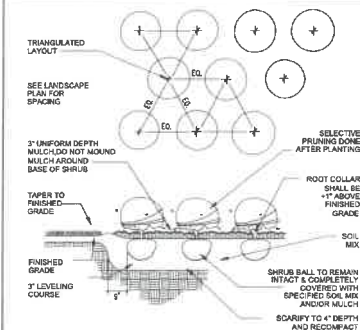
- PRUNE SHRUBS, TREES AND GROUND-COVER TO ENCOURAGE HEALTHY GROWTH AND CREATE A NATURAL APPEARANCE.
- MULCH TO BE APPLIED IN FEBRUARY/MARCH WITH A HALF RATE IN LATE SUMMER TO TOP DRESS.
- APPLY PRE-EMERGENT HERBICIDES IN FEBRUARY AND APRIL.
- MANUAL WEED CONTROL TO MAINTAIN CLEAN BED APPEARANCE.
- APPLY FUNGICIDES AND INSECTICIDES AS NEEDED TO CONTROL INSECTS AND DISEASE.
- ORNAMENTAL SHRUBS, TREES AND GROUND-COVERS TO BE FERTILIZED THREE (3) TIMES PER YEAR WITH A BALANCED MATERIAL (JANUARY/FEBRUARY, APRIL/MAY, AND OCTOBER/NOVEMBER)
- EDGE ALL MULCHED BEDS.
- REMOVE ALL LITTER AND DEBRIS.

GENERAL MAINTENANCE

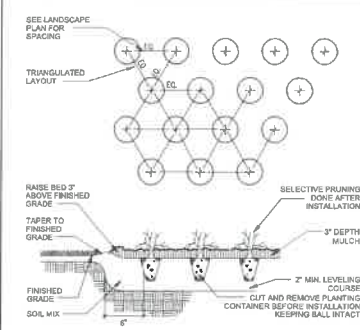
- REMOVE ALL MAN-MADE DEBRIS, BLOW EDGES.
- INSPECT GROUNDS ON A MONTHLY BASIS AND SCHEDULE INSPECTION WITH UNIT OPERATOR.



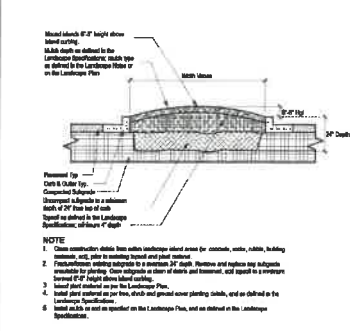
1 TREE PLANTING DETAIL
 L2.0 SCALE: NO SCALE



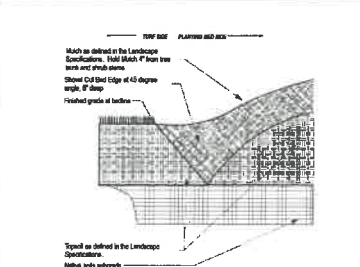
2 SHRUB PLANTING DETAIL
 L2.0 SCALE: NO SCALE



3 GROUND-COVER DETAIL
 L2.0 SCALE: NO SCALE



4 PARKING ISLAND DETAIL
 L2.0 SCALE: NO SCALE



5 SPADED PLANTING BED EDGE DETAIL
 L2.0 SCALE: NO SCALE

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PROFESSIONAL SEAL: ARCHITECTURAL LANDSCAPE ARCHITECT, ILLINOIS, NO. 15740, 02/2018, 12/24/2018

ISSUED FOR REVIEW: 09-27-25

DATE: 09-11-25
 DRAWN: DSP
 CHECKED: []
 NOT: []

2349 LAKE STREET
 ADDISON, ILLINOIS

LANDSCAPE INSTALLATION AND MONITORING SPECIFICATIONS
 PLANTING DETAILS

job no. **25430**
 sheet no. **L2.0**

**NATIVE PLANT & SEED INSTALLATION
MANAGEMENT AND MONITORING PLAN**

ALL NATIVE PLANTING AND SEEDING INSTALLATION, MANAGEMENT AND MONITORING TO BE CONDUCTED BY A QUALIFIED, EXPERIENCED CONTRACTOR SPECIALIZING IN RESTORING AND MANAGING NATURAL LANDSCAPES IN THE MIDWEST. THE SELECTED CONTRACTOR IS TO BE HELD ACCOUNTABLE FOR THE APPROPRIATE INSTALLATION METHODS AND MANAGEMENT AND MONITORING OF ALL NATIVE AREAS.

PLANT MATERIAL INSTALLATION - NATIVE SEEDING

- PREPARE AREA FOR SEEDING - PREPARE THE SOIL AND CREATE OPTIMAL PLANT CONDITIONS, BEFORE DISTURBING ANY GROUND:
 - CHECK FOR ANY BURIED UTILITIES
 - CLEAR AREA OF DEBRIS THAT WOULD INTERFERE WITH PLANTING
 - MOW ANY EXCESS EXISTING VEGETATION GROWTH
 - APPLY BROAD-SPECTRUM OR TARGETED HERBICIDE, DEPENDING ON SPECIES PRESENT
 - DE-COMPACT ANY AREAS OF SPECIAL CONCERN
 - LIGHTLY DE-COMPACT TILLED OR LOOSE SOIL WITH A ROLLER, CULTIPACKER, OR SIMILAR EQUIPMENT. IF USING A NO-TILL SEED DRILL, TILLING CAN USUALLY BE OMITTED.
 - IF GROUND IS WET, TILLING SHOULD NOT OCCUR UNTIL THE SOIL DRIES ENOUGH TO BREAK APART WHEN TILLED.
- FOLLOW THE APPROPRIATE TIMING:
 - THE OPTIMAL TIME TO INSTALL SEED IS FROM THE FALL (NOVEMBER 1) TO LATE SPRING (JUNE 15).
 - WETLANDS SHOULD BE SEEDING IN THE WINTER WHILE THE SITE IS FROZEN AND EQUIPMENT CAN MORE EASILY ACCESS THE SITE.

METHOD FOR SEEDING AND EROSION CONTROL:

- BROADCASTING:
 - FOR SMALL (TYPICALLY TWO ACRES OR LESS) OR IRREGULARLY SHAPED AREAS, SEED CAN BE PLANTED BY HAND BROADCASTING. TO AID SEED DISTRIBUTION, COMBINE THE SEED MIX WITH FILLER MATERIALS, SUCH AS DRY SANDWUST, SAND, OR VERMICULITE.
 - USING A HAND-CRANK OR TOW-BEHIND BROADCASTER, START WITH HALF OF THE SEED AND TRY TO COVER THE ENTIRE AREA WITH THAT AMOUNT OF SEED. TAKE THE REMAINING HALF OF THE SEED, GO TO THE OPPOSITE END OF THE SITE AND COVER IT AGAIN. AFTER BROADCASTING IS COMPLETE, IT IS IMPORTANT TO USE A CULTIPACKER OR ROLLER OVER THE AREA TO MAKE GOOD SEED-TO-SOIL CONTACT. DO NOT COVER SEED MORE THAN 1/4-INCH DEEP.
- NO-TILL DRILL:
 - FOR LARGER AREAS AND SITES WITH EXISTING VEGETATION, USE A NO-TILL SEED DRILL, WHICH DOES NOT REQUIRE THE SOIL TO BE TILLED BEFORE PLANTING, RESULTING IN MINIMAL SOIL DISTURBANCE. NO-TILL DRILLS PLANT SEED IN ROWS BY OPENING SLITS IN THE SOIL INTO WHICH SEED IS DEPOSITED. IF USING A NO-TILL DRILL, SEED SHOULD NOT BE BURIED BELOW 1/8" DEPTH PER SPECIFIC MANUFACTURER'S RECOMMENDATIONS. BECAUSE THE DIVERSITY OF SEED SIZES MAKES DRILL CALIBRATION A CHALLENGE, PERFORM A FEW TEST AREAS FIRST TO HELP PREVENT RUNNING OUT OF SEED.
- EROSION CONTROL METHOD:
 - INSTALL BIODEGRADABLE EROSION CONTROL BLANKET (NAG 5758N OR EQUAL) UNTIL SEED HAS GERMINATED.

PLANT MATERIAL MANAGEMENT - NATIVE SEEDING - 5-YEAR PERIOD

TO HELP ENSURE SUCCESS, PROJECTS NEED A MAINTENANCE AND MONITORING PLAN THAT IS FLEXIBLE AND SUPPORTS SITE DEVELOPMENT GOALS. WHILE NATIVE PLANTS TEND TO GERMINATE AND DEVELOP AT A SLOWER RATE THAN ORNAMENTAL PERENNIALS OR TURF GRASS, REGULAR MAINTENANCE DURING THE ESTABLISHMENT PERIOD GREATLY IMPROVES PROJECT SUCCESS. REGULAR MAINTENANCE AND MONITORING CONTROLS INVASIVE SPECIES, ENSURES OPTIMAL MOISTURE LEVELS ARE PRESENT, AND IDENTIFIES OTHER NECESSARY MANAGEMENT ACTIONS.

- NATIVE AREAS NEED BETWEEN 3 TO 5 YEARS TO ESTABLISH.
- PREFERRED PLANTING LATE FALL (ANY TIME AFTER NOVEMBER 1; IF THE SOIL SURFACE IS DRY AND COLD ENOUGH TO PREVENT GERMINATION AND SEED CAN BE WORKED INTO SOIL.
- LET SEED GERMINATE AND GROW FOR ONE FULL SEASON. DO NOT APPLY HERBICIDES FOR WEED CONTROL WITHIN THE FIRST GROWING SEASON. IF LARGE WEEDS ARE UNSIGHTLY, CLIP OFF; DO NOT PULL WEEDS TO KEEP GROWTH DOWN. DO NOT ALLOW SEED HEADS TO FORM.
- MOW FIRST TIME WHEN ESTABLISHED IN FIRST SEASON TO 12"-18" HIGH, TO SCATTER SEED HEADS. IF CLUMPING OCCURS LIGHTLY RAKE TO DISBURSE SEED.
- MOW 2-3 ADDITIONAL TIMES TO MAINTAIN 9-9 INCHES IN HEIGHT.
- SOME PERENNIAL SEEDS MAY NOT GERMINATE UNTIL THE FOLLOWING YEAR.
- IF FALL PLANTING IS NOT POSSIBLE, SPRING SEEDING CAN BE DONE (WEATHER PERMITTING) AS EARLY AS JANUARY - PREFERABLY BEFORE APRIL 15.
- SECOND SEASON MOW 3-4 TIMES TO MAINTAIN 8-10 INCHES IN HEIGHT.
- AT THE END OF THE THIRD SEASON A CONTROLLED BURN PROGRAM TO BE PERFORMED.
- 4 (FOUR) ANNUAL WEED CONTROL EVENTS (SELECTIVE HERBICIDE AND MECHANICAL) TO BE PERFORMED THROUGHOUT ALL NATIVE PLANT COMMUNITIES STARTING ONCE THE SEED IS SOWN UNTIL SIGN-OFF IS GRANTED.

MINIMUM PERFORMANCE STANDARDS AND MONITORING ACTIVITIES

NATIVE PLANT MATERIALS

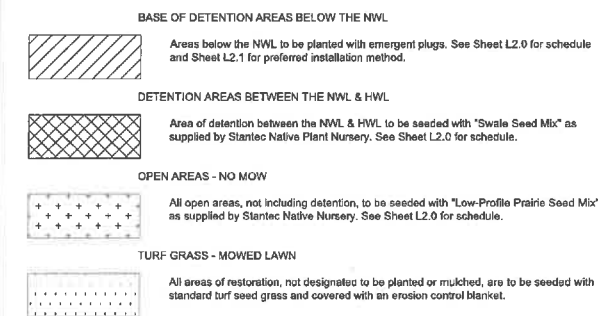
PERFORMANCE STANDARDS ARE ESTABLISHED FOR ALL PROPOSED PROJECTS INVOLVING NATURALIZED AREAS SO THAT THE RELATIVE SUCCESS OF CREATION AND ENHANCEMENT EFFORTS MAY BE EVALUATED. IF THE PERFORMANCE STANDARDS ARE NOT ACHIEVED BY THE END OF THE FIVE-YEAR MANAGEMENT AND MONITORING PROGRAM, ACCEPTANCE MEETINGS SHALL BE HELD TO DETERMINE THE FUTURE COURSE OF ACTION. IT IS LIKELY THAT IN SUCH A CASE THAT THE MAINTENANCE AND MONITORING PERIOD WILL BE EXTENDED.

- NOTIFICATION - THE DEVELOPER SHALL NOTIFY (MUNICIPALITY) UPON COMPLETION OF PLANTINGS.
 - THE OWNER'S ENVIRONMENTAL SPECIALIST SHALL INSPECT THE PLANTINGS UPON COMPLETION OF ALL MAINTENANCE PROCEDURES AND NOTIFY (MUNICIPALITY) OF THE REMEDIAL ACTIONS TAKEN.
- NATIVE AREAS ARE TO BE MONITORED FOR A MINIMUM OF 5 (FIVE) YEARS FROM DATE OF INSTALLATION.
 - MONITOR ALL NATIVE AREAS 2 (TWO) TIMES ANNUALLY AT A TIME OF YEAR WHEN PLANTS ARE EVIDENT AND IDENTIFIABLE VISITS SHOULD OCCUR AT SPACED INTERVALS THROUGHOUT THE GROWING SEASON.
 - CONDUCT MONITORING VISITS UTILIZING SYSTEMATIC FIELD TECHNIQUES. TRAVERSE ENTIRE NATIVE AREA, DOCUMENT FLORA AND NOTE TOP 3 DOMINANT SPECIES.
 - WITHIN 3 MONTHS OF SEED INSTALLATION, AT LEAST 90% OF THE SEEDED AREAS ("LOW PROFILE", "STORMWATER" AND "SWALE" SEED MIX), AS MEASURED BY AERIAL COVERAGE, SHALL BE VEGETATED. A MINIMUM 100% VEGETATIVE COVERAGE SHALL BE MAINTAINED THROUGHOUT, AND AT THE END OF THE FIVE-YEAR PERIOD FOR THESE AREAS.
 - THIS STANDARD DOES NOT APPLY TO THE EMERGENT ZONES.
 - THE NATURALIZED AREAS SHALL NOT CONTAIN ANY RILLS GREATER THAN 4 INCHES WIDE AND 4 INCHES DEEP THROUGHOUT, AND AT THE END OF THE THREE-YEAR PERIOD.
 - AT THE END OF THE SECOND GROWING SEASON, 30% SEED MIX PRESENCE FOR THE "LOW PROFILE", "STORMWATER" AND "SWALE" SEED MIXES SHALL BE ACHIEVED. AT THE END OF THE THIRD GROWING SEASON, 50% SEED MIX PRESENCE FOR THE "LOW PROFILE", "STORMWATER" AND "SWALE" SEED MIXES SHALL BE ACHIEVED.
 - SEED MIX PRESENCE SHALL BE EVALUATED SEPARATELY FOR THESE THREE MIXES.
 - NO AREA OVER THE ENTIRE NATIVE PLANTED SITE GREATER THAN 1 SQUARE METER WILL BE DEVOID OF VEGETATION (AS MEASURED BY AERIAL COVERAGE/OCCULAR ESTIMATION), UNLESS SPECIFIED ON APPROVED PLANS.
 - THIS ANNUAL PERFORMANCE STANDARD DOES NOT APPLY TO EMERGENT AND AQUATIC COMMUNITIES.
 - THE NATIVE PLANTED AREAS WILL MEET THE FOLLOWING ANNUAL STANDARDS FOR THE PRESENCE OF NATIVE, NON-INVASIVE PERENNIAL SPECIES (AS MEASURED BY AERIAL COVERAGE/OCCULAR ESTIMATION): YEAR 1 - 10%, YEAR 2 - 50%, YEAR 3 - 75%, YEAR 4 & 5 - 85%.
 - THIS STANDARD TO BE MEASURED SEPARATELY FOR EACH SEED MIX ZONE.
 - AT THE END OF THE THIRD GROWING SEASON, NONE OF THE THREE MOST DOMINANT SPECIES WITHIN THE PLANTED AREAS WILL BE INVASIVE OR NON-NATIVE SPECIES AS INSPECTED ANNUALLY. THE PROJECT MANAGER WILL DETERMINE THE APPROPRIATE TARGET INVASIVE OR NON-NATIVE SPECIES. THEY WILL TYPICALLY INCLUDE, BUT ARE NOT LIMITED TO, THE FOLLOWING: RAGWEED (AMBROSIA SPP.), CATTAIL (TYPHA SPP.), REED CANARY GRASS (PHALARIS ARUNDINACEA), PURPLE LOOSESTRIFE (LYTHRUM SALICARIA), COMMON REED (PHARAGETES AUSTRALIS), CANADIAN THISTLE (CIRSIMUM ARVENSE), SANDBAR WILLOW (SALIX INTERIOR), KENTUCKY BLUE GRASS (POA PRATENSIS), YELLOW SWEETCLOVER (MELILOTUS OFFICINALIS), TEASEL (DIPSACUS SPP.), JAPANESE-KNOTWEED (REYNOLTRIA JAPONICA), AND ASIAN BITTERSWEET (CELASTRUS ORBICULATUS), BUCKTHORN (RHAMNUS SPP.).
 - THIS STANDARD TO BE MEASURED SEPARATELY FOR EACH SEED MIX ZONE.
 - SEED: AT THE END OF THE THIRD GROWING SEASON, 50% VEGETATIVE COVERAGE SHALL BE ACHIEVED (AS MEASURED BY AERIAL COVERAGE/OCCULAR ESTIMATION).
 - EMERGENTS: RELATIVE COVERAGE OF CATTAILS (AS MEASURED BY AERIAL COVERAGE/OCCULAR ESTIMATION) SHALL BE LESS THAN 5% THROUGHOUT, AND AT THE END OF THE THREE-YEAR MONITORING PERIOD.
 - PLUGS: 90% OF THE PLANTS WILL BE ALIVE, IN HEALTHY CONDITION, AND REPRESENTATIVE OF THE INDIVIDUAL SPECIES AT THE END OF EACH GROWING SEASON. REPLANTING WILL TAKE PLACE UNTIL THIS STANDARD IS ACHIEVED.
 - WOODY PLANTS: 100% OF THE PLANTED TREES AND SHRUBS WILL BE ALIVE, IN HEALTHY CONDITION, AND REPRESENTATIVE OF THE INDIVIDUAL SPECIES AT THE END OF THE 3RD GROWING SEASON.
 - ANNUAL REPLACEMENTS ARE REQUIRED TO ACHIEVE THIS STANDARD.
 - RELATIVE COVERAGE (DETERMINED BY OCCULAR ESTIMATION) OF INVASIVE SPECIES (I.E. COMMON REED, REED CANARY GRASS, PURPLE LOOSESTRIFE, ETC.) IN AGGREGATE SHALL BE LESS THAN 5% THROUGHOUT, AND AT THE END OF THE THREE-YEAR PERIOD.
 - THIS STANDARD SHALL BE EVALUATED SEPARATELY FOR EACH SEED AND PLANT MIX ZONE (I.E. "LOW PROFILE", "STORMWATER" AND "SWALE" SEED MIX, EMERGENT).
 - NATIVE MEAN C VALUE > 3.0 AND NATIVE FOI VALUE > 20.0 FOR ALL NATIVE PLANT COMMUNITIES.
 - THIS STANDARD SHALL BE EVALUATED SEPARATELY FOR EACH SEED AND PLANT MIX ZONE (I.E. "LOW PROFILE", "STORMWATER" AND "SWALE" SEED MIX, EMERGENT).
 - SOIL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REGULARLY MAINTAINED. ANY EROSION OBSERVED ON-SITE SHALL BE REPAIRED TO THE DESIGNED CONDITION WITHIN 30 DAYS OF OBSERVATION.

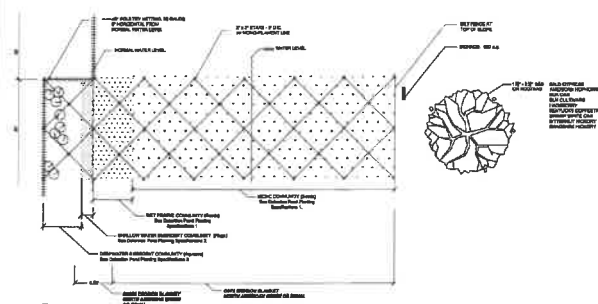
PLANTING NOTES FOR DETENTION AREAS

- REFER TO CIVIL ENGINEERING DRAWINGS FOR CONSTRUCTION DETAILS OF DETENTION AREAS
- REQUIRED LANDSCAPE MATERIAL SHALL SATISFY AMERICAN ASSOCIATION OF NURSERYMEN STANDARDS AND BE WATERED AND MULCHED PER CONSTRUCTION DOCUMENTS.
- ALL PROPOSED PLANT SUBSTITUTIONS WITHIN DETENTION AREAS MUST BE APPROVED BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
- ALL REQUIRED LANDSCAPE MATERIAL INDICATED ON THE APPROVED PLANS WILL BE MAINTAINED THROUGHOUT THE LIFE OF THE PROJECT AND MUST BE REPLACED SHOULD IT DIE.
- CONTRACTOR RESPONSIBLE FOR THE MAINTENANCE ALL PLANT MATERIAL WITHIN DETENTION AREAS AS SPECIFIED BY THE LANDSCAPE ARCHITECT FOR THE FIRST YEAR AFTER INSTALLATION.
- ALL PLANT MATERIAL WITHIN DETENTION AREAS TO HAVE A 1 YEAR WARRANTY STARTING UPON LANDSCAPE ARCHITECT ISSUING "SUBSTANTIAL COMPLETION".
- WATER FOWL BARRIER CONTROL TO BE INSTALLED AT 8" O.C. IN ALL DETENTION AREAS PLANTED WITH PLUGS.
- METAL SIGNS (12"x18") TO BE INSTALLED AT 150' INTERVALS AROUND ALL NATIVE AREAS STATING "NATIVE PLANTING DO NOT MOW".
- ALL WORK AND OPERATIONS SHALL COMPLY WITH ALL APPLICABLE FEDERAL, STATE AND LOCAL CODES AND ORDINANCES.

GROUND TREATMENT KEY

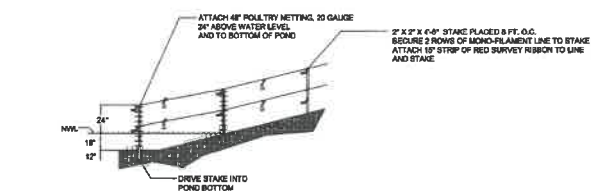


NOTE: All other areas disturbed by construction activities, excluding shrub beds, to be restored with turf grass seed and covered with an erosion control blanket.



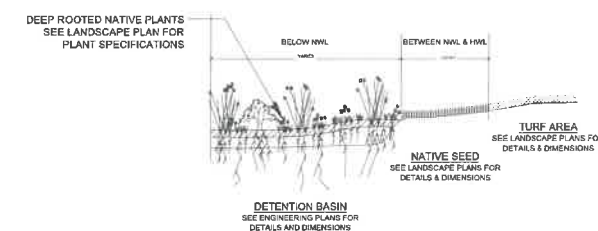
1 GOOSE BARRIER PLAN DETAIL

SCALE: NO SCALE



2 GOOSE BARRIER SECTION DETAIL

SCALE: NO SCALE



3 BIODETENTION PLANTING DETAIL

SCALE: NO SCALE

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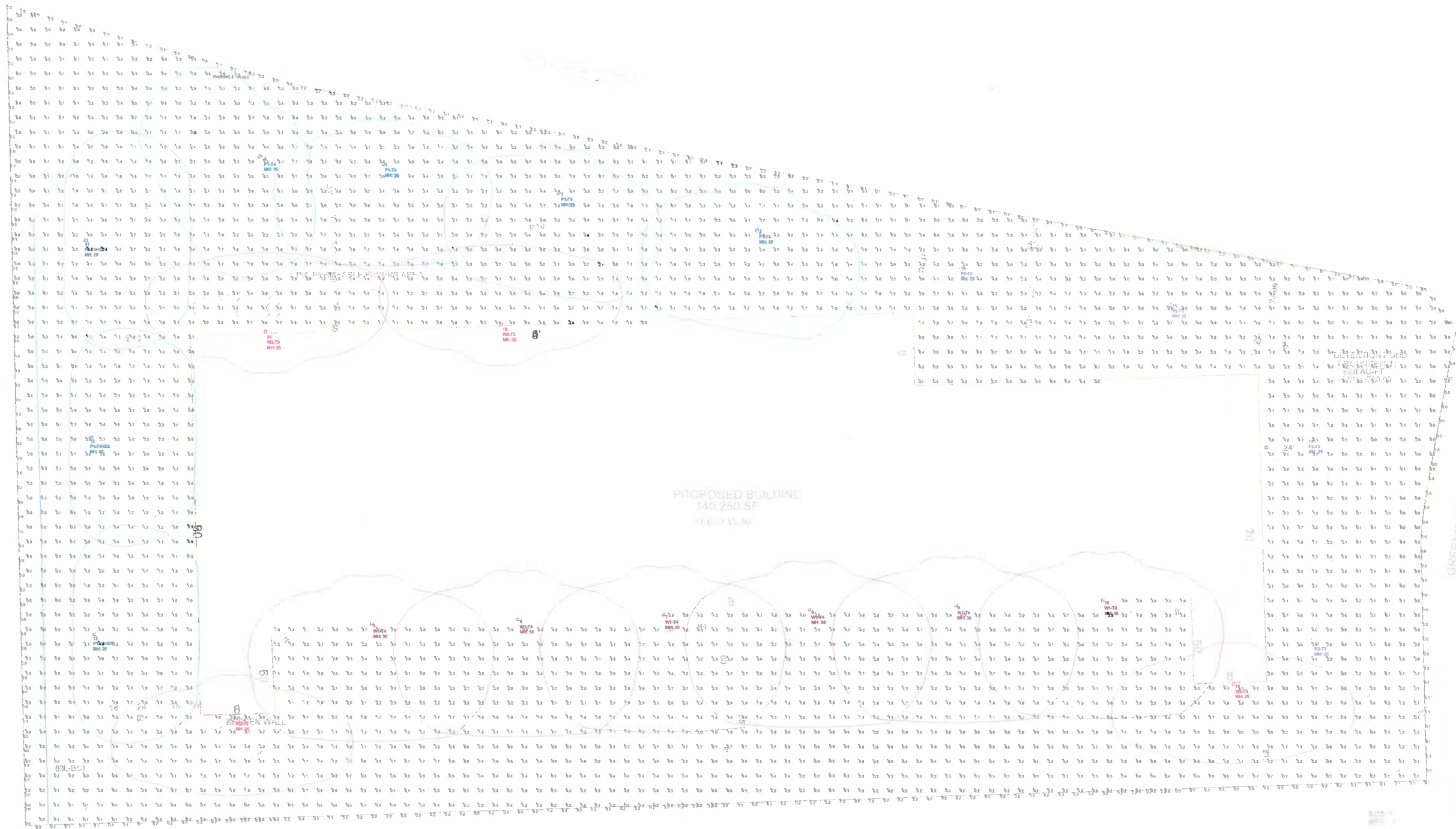


no.	revision description	initial	date
	ISSUED FOR REVIEW	DSP	09-22-25

2349 LAKE STREET
ADDISON, ILLINOIS

PLANTING NOTES FOR NATIVE AREAS AND DETENTION BASINS
DETENTION AREA DETAILS

date:	09-11-25	checked:	KMT
drawn:	DSP		
job no.	25430		
sheet no.	L2.1		



- Notes:**
- Mounting Heights = MH as shown
 - No obstructions included in calculations
Obstructions will affect footcandle levels
 - Calculation grid values = 10'-0" O.C.
 - Calculations taken at grade, 0FT



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210 W. State Street
Geneva, IL 60134
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Email Address:
Applications@TheLightingDigest.com

Project: **2349 W. Lake Street, Addison, IL**

Project No: **250453**

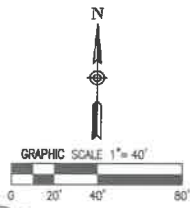
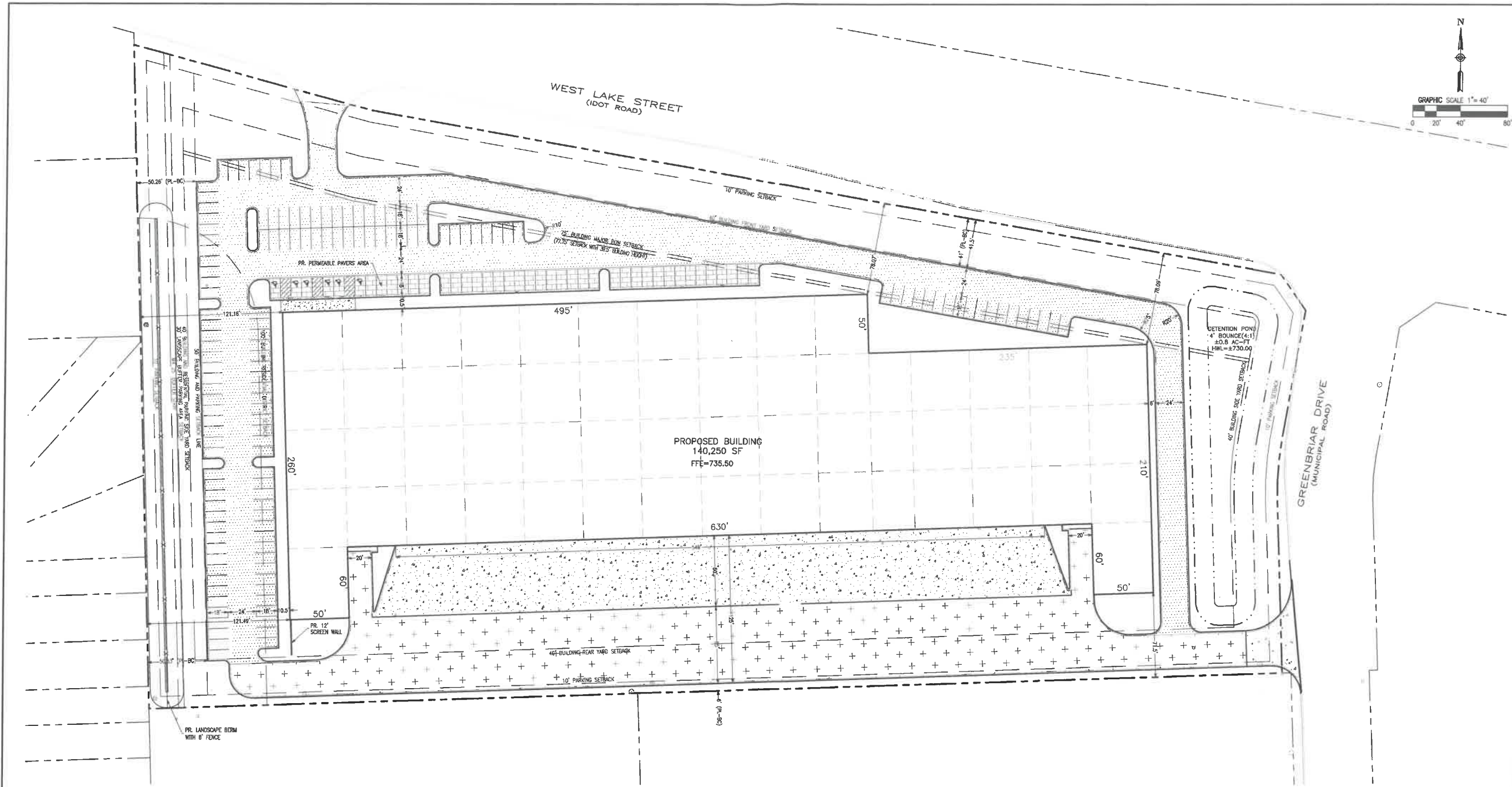
Drawn By: **Joeli Collins**

Date: **9/26/2025**






Scale: **1" = 35ft**



Disclaimer:
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PAVEMENT HATCH LEGEND:

-  ASPHALT PAVEMENT
-  HEAVY DUTY ASPHALT PAVEMENT
-  PERMEABLE PAVERS
-  HEAVY DUTY CONCRETE PAVEMENT
-  CONCRETE SIDEWALK

SITE DATA TABLE:

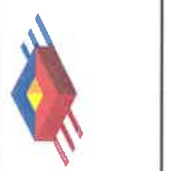
PROPERTY AREA:	9.79 ACRES
EXISTING IMPERVIOUS AREA: (70% IMPERVIOUS)	6.89 ACRES
PROPOSED IMPERVIOUS AREA: (70% IMPERVIOUS)	6.87 ACRES
PROPOSED PERMEABLE PAVERS AREA: (2% PERMEABLE PAVERS)	0.16 ACRES
PROPOSED PERVIOUS AREA: (28% PERVIOUS)	2.76 ACRES
PROPOSED BUILDING AREA:	140,250 SQ. FT.
EXISTING ZONING:	M4 - PLANNED OFFICE RESEARCH/INDUSTRIAL
FLOOR AREA RATIO: (M-4 MAX 0.50)	0.33
BUILDING SETBACKS:	
FRONT YARD:	40' (INCLUDING FENCES)
SIDE YARD:	40'
REAR YARD:	40' (+1/2' BUILDING ABOVE 35')
MAJOR STREET ROW LINE:	75'
RESIDENTIAL DISTRICT:	100'
MAX BUILDING HEIGHT:	65'

LANDSCAPING:	
OFF-STREET PARKING AREA:	200 SF / EVERY 20 STALLS
ABUTTING RESIDENTIAL:	30' SETBACK 5' TALL HEDGE & FENCE
CAR PARKING REQUIRED:	±170
MULTI-UNIT BUILDING:	ASSUMED 4
(8 SPACES/UNIT UP TO 3,000 SF)	
(1 SPACES/1,000 SF OVER 3,000 SF)	
TOTAL CAR PARKING PROVIDED:	180 STALLS
STANDARD PARKING PROVIDED:	174 STALLS
ADA PARKING PROVIDED:	6 STALLS
TOTAL TRUCK DOCKS:	36 DOCKS

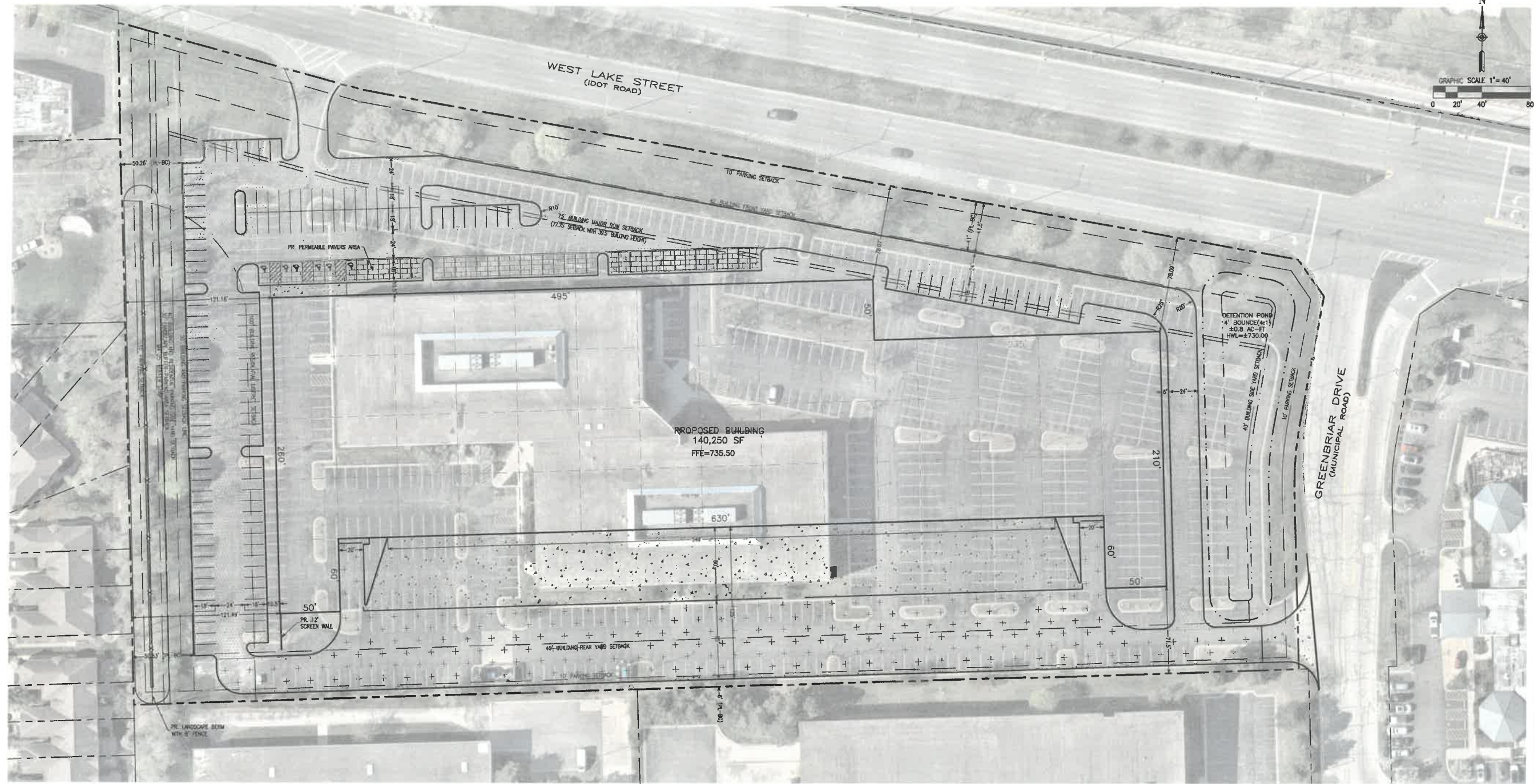
No.	Description	Date
5	PER CLIENT	9/18/25
4	PER CLIENT	9/17/25
3	PER CLIENT	9/4/25
2	PER VILLAGE	8/21/25
1	CONCEPT PLANS	7/22/25

SITE PLAN
2349 LAKE STREET
LOGISTICS PROPERTY COMPANY LLC.
ADDISON, ILLINOIS

JACOB & HEFNER ASSOCIATES
 1333 Butterfield Rd., Suite 300, Downers Grove, IL 60515
 PHONE: (630) 652-4600; FAX: (630) 652-4601
 www.jacobandhefner.com



H618
1" = 40'
C1



No.	Description	Date
5	PER CLIENT	9/18/25
4	PER CLIENT	9/17/25
3	PER CLIENT	9/4/25
2	PER VILLAGE	8/21/25
1	CONCEPT PLANS	7/22/25






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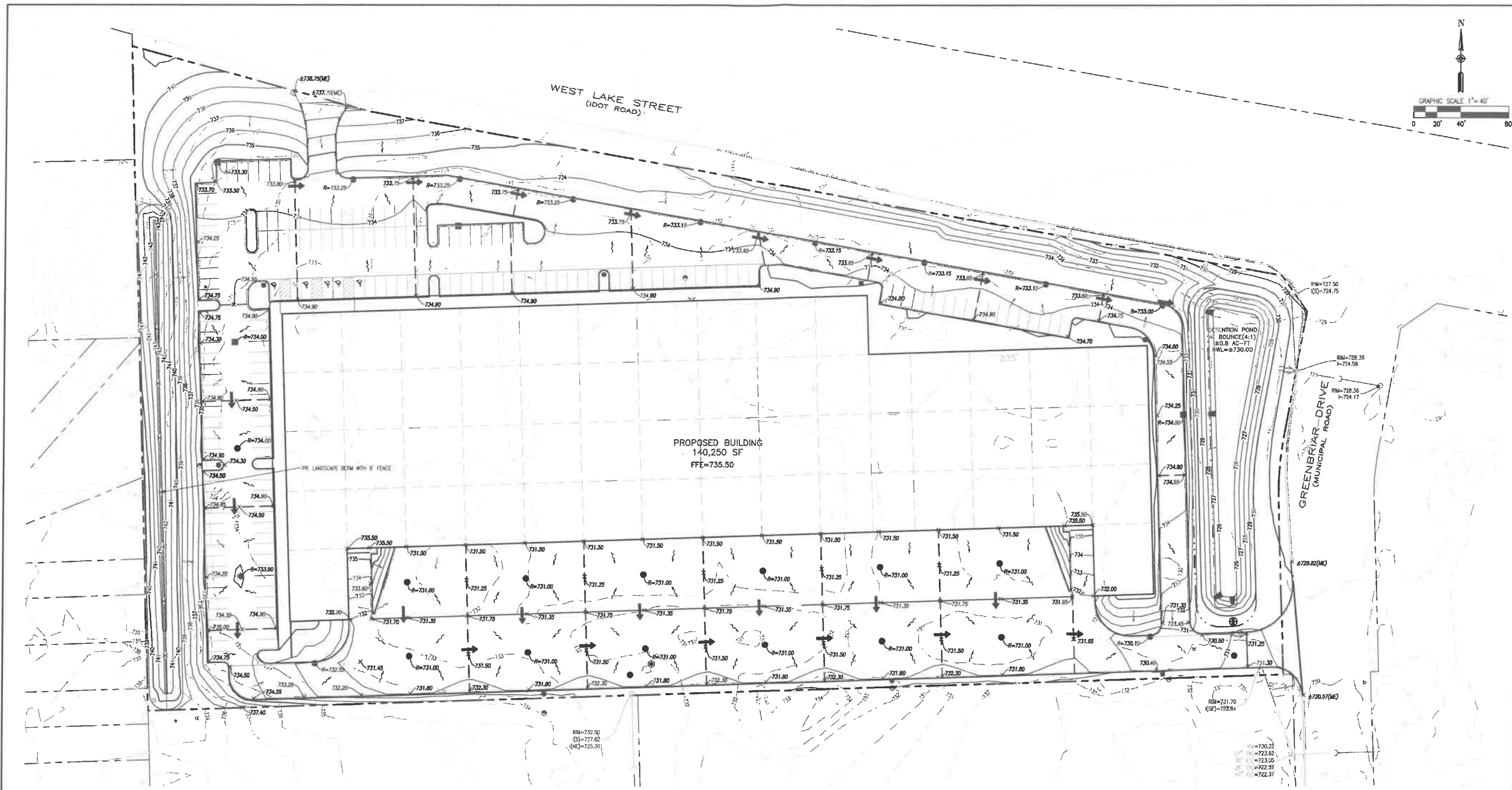
H618
1" = 40'
C1A

PAVEMENT HATCH LEGEND:

-  ASPHALT PAVEMENT
-  HEAVY DUTY ASPHALT PAVEMENT
-  PERMEABLE PAVERS
-  HEAVY DUTY CONCRETE PAVEMENT
-  CONCRETE SIDEWALK

SITE DATA TABLE:

PROPERTY AREA:	9.79 ACRES	LANDSCAPING:	OFF-STREET PARKING AREA: 200 SF / EVERY 20 STALLS
EXISTING IMPERVIOUS AREA: (70% IMPERVIOUS)	6.89 ACRES	ABUTTING RESIDENTIAL:	30' SETBACK 5' TALL HEDGE & FENCE
PROPOSED IMPERVIOUS AREA: (70% IMPERVIOUS)	6.87 ACRES	CAR PARKING REQUIRED:	±170 ASSUMED 4
PROPOSED PERMEABLE PAVERS AREA: (2% PERMEABLE PAVERS)	0.18 ACRES	(8 SPACES/UNIT UP TO 3,000 SF)	
PROPOSED PERVIOUS AREA: (28% PERVIOUS)	2.76 ACRES	(1 SPACES/1,000 SF OVER 3,000 SF)	
PROPOSED BUILDING AREA:	140,250 SQ. FT.	TOTAL CAR PARKING PROVIDED:	180 STALLS
EXISTING ZONING:	M4 - PLANNED OFFICE RESEARCH/INDUSTRIAL	STANDARD PARKING PROVIDED:	174 STALLS
FLOOR AREA RATIO: (M-4 MAX 0.50)	0.33	ADA PARKING PROVIDED:	6 STALLS
BUILDING SETBACKS:		TOTAL TRUCK DOCKS:	36 DOCKS
FRONT YARD:	40' (INCLUDING FENCES)		
SIDE YARD:	40'		
REAR YARD:	40' (+1/2' BUILDING ABOVE 35')		
MAJOR STREET ROW LINE:	75'		
RESIDENTIAL DISTRICT:	100'		
MAX BUILDING HEIGHT:	65'		



No.	Description	Date
5	PER CLIENT	9/19/25
4	PER CLIENT	9/17/25
3	PER CLIENT	9/4/25
2	PER VILLAGE	8/21/25
1	CONCEPT PLANS	7/22/25

GRADING PLAN
2349 LAKE STREET
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LOGISTICS PROPERTY CO

H618
 1" = 40'
 C2

Hydrograph Report

Hydroflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2024

Hyd. No. 2

BULLETTIN 70 RAINFALL

Hydrograph type	= Reservoir	Peak discharge	= 0.000 cfs
Storm frequency	= 100 yrs	Time to peak	= n/a
Time interval	= 2 min	Hyd. volume	= 0.000 acft
Inflow hyd. No.	= 1 - Site	Max. Elevation	= 104.06 ft
Reservoir name	= Pond	Max. Storage	= 5.681 acft

Storage Indication method used:

Drainage area	= 9.800 ac	Curve number	= 93
Basin Slope	= 0.0 %	Hydraulic length	= 0 ft
Tc method	= User	Time of conc. (Tc)	= 10.00 min
Total precip.	= 7.58 in	Distribution	= Huff-3rd
Storm duration	= 24.00 hrs	Shape factor	= 484

Hydrograph Report

Hydroflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2024

Hyd. No. 2

BULLETTIN 75 RAINFALL

Hydrograph type	= Reservoir	Peak discharge	= 0.000 cfs
Storm frequency	= 100 yrs	Time to peak	= n/a
Time interval	= 2 min	Hyd. volume	= 0.000 acft
Inflow hyd. No.	= 1 - Site	Max. Elevation	= 104.65 ft
Reservoir name	= Pond	Max. Storage	= 6.509 acft

Storage Indication method used:

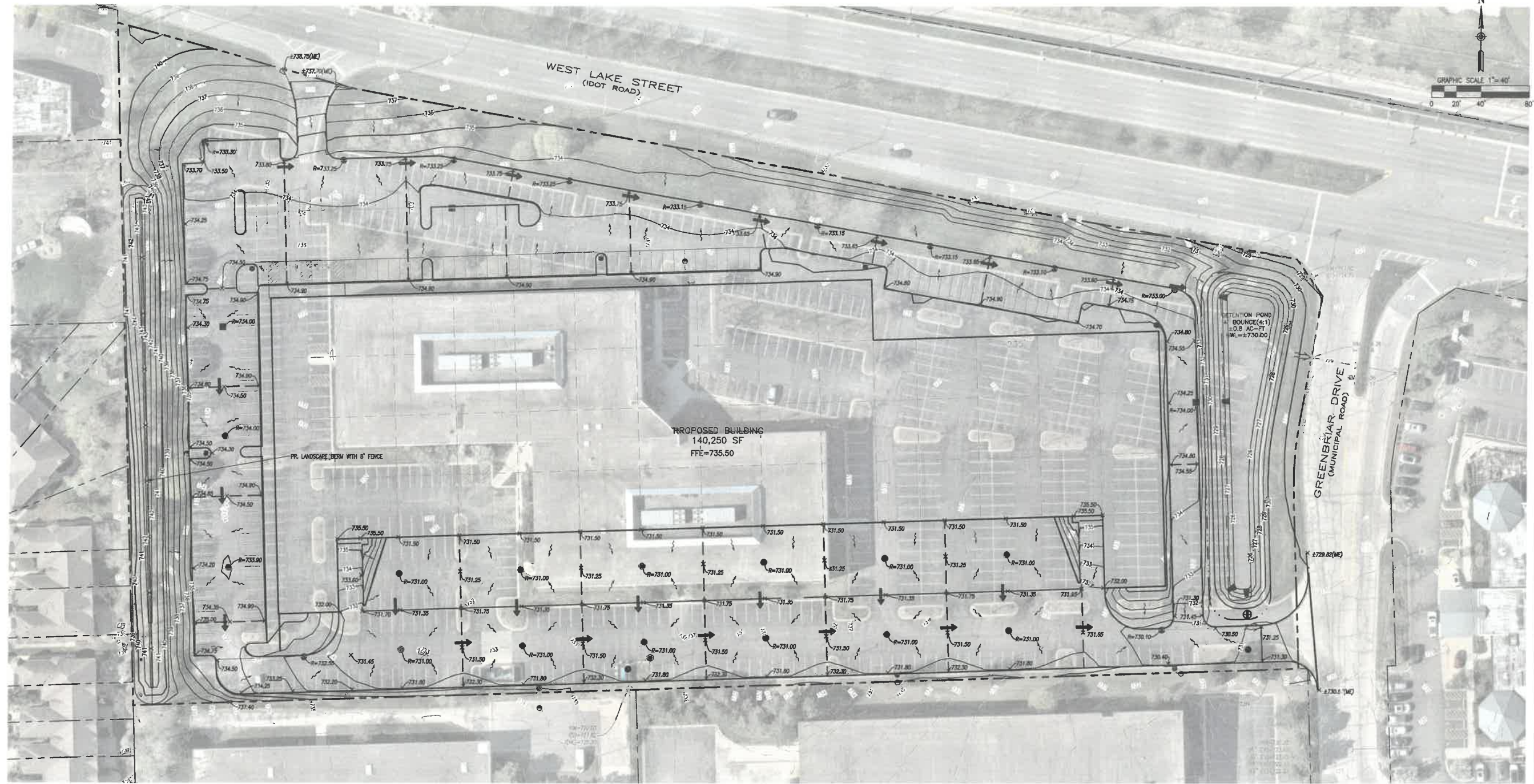
Drainage area	= 9.800 ac	Curve number	= 93
Basin Slope	= 0.0 %	Hydraulic length	= 0 ft
Tc method	= User	Time of conc. (Tc)	= 10.00 min
Total precip.	= 8.57 in	Distribution	= Huff-3rd
Storm duration	= 24.00 hrs	Shape factor	= 484

STORMWATER MANAGEMENT SUMMARY TABLE:

PROPERTY AREA:	9.79 ACRES
EXISTING IMPERVIOUS AREA: (70% IMPERVIOUS)	6.89 ACRES
PROPOSED IMPERVIOUS AREA: (70% IMPERVIOUS)	6.83 ACRES
PROPOSED PERMEABLE PAVERS AREA: (1% PERMEABLE PAVERS)	0.11 ACRES
PROPOSED PERVIOUS AREA: (25% PERVIOUS)	2.85 ACRES
VILLAGE DETENTION VOLUME REQUIRED:	±0.8 ACRE-FEET
VILLAGE DETENTION VOLUME PROVIDED:	±0.8 ACRE-FEET

NOTES:

- NO NET NEW IMPERVIOUS AREA PROPOSED
- EXISTING OFF-SITE DETENTION BASIN ASSUMED TO PROVIDE ADEQUATE DETENTION STORAGE VOLUME
- PROPOSED DETENTION VOLUME SHOWN ON-SITE IS THE DIFFERENCE BETWEEN BULLETIN-70 AND BULLETIN-75 RAINFALL DATA.



5	PER CLIENT	9/18/25
4	PER CLIENT	9/17/25
3	PER CLIENT	9/14/25
2	PER VILLAGE	8/21/25
1	CONCEPT PLANS	7/22/25
No.	Description	Date

GRADING PLAN
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JACOB & HEFNER ASSOCIATES
1333 Butterfield Rd, Suite 300, Downers Grove, IL 60515
PHONE: (630) 652-4600, FAX: (630) 652-4601
www.jacobandhefner.com



LOGISTICS PROPERTY CO

H618
1" = 40'
C2A

Hydrograph Report

Hydroflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2024

Hyd. No. 2

BULLETIN 70 RAINFALL

Hydrograph type	= Reservoir	Peak discharge	= 0.000 cfs
Storm frequency	= 100 yrs	Time to peak	= n/a
Time interval	= 2 min	Hyd. volume	= 0.000 acft
Inflow hyd. No.	= 1 - Site	Max. Elevation	= 104.05 ft
Reservoir name	= Pond	Max. Storage	= 5.681 acft

Storage indication method used.

Drainage area	= 9.800 ac	Curve number	= 93*
Basin Slope	= 0.0 %	Hydraulic length	= 0 ft
Tc method	= User	Time of conc. (Tc)	= 10.00 min
Total precip.	= 7.56 in	Distribution	= Huff-3rd
Storm duration	= 24.00 hrs	Shape factor	= 484

Hydrograph Report

Hydroflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2024

Hyd. No. 2

BULLETIN 75 RAINFALL

Hydrograph type	= Reservoir	Peak discharge	= 0.000 cfs
Storm frequency	= 100 yrs	Time to peak	= n/a
Time interval	= 2 min	Hyd. volume	= 0.000 acft
Inflow hyd. No.	= 1 - Site	Max. Elevation	= 104.95 ft
Reservoir name	= Pond	Max. Storage	= 6.509 acft

Storage indication method used.

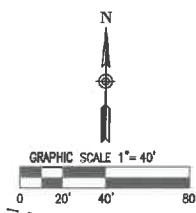
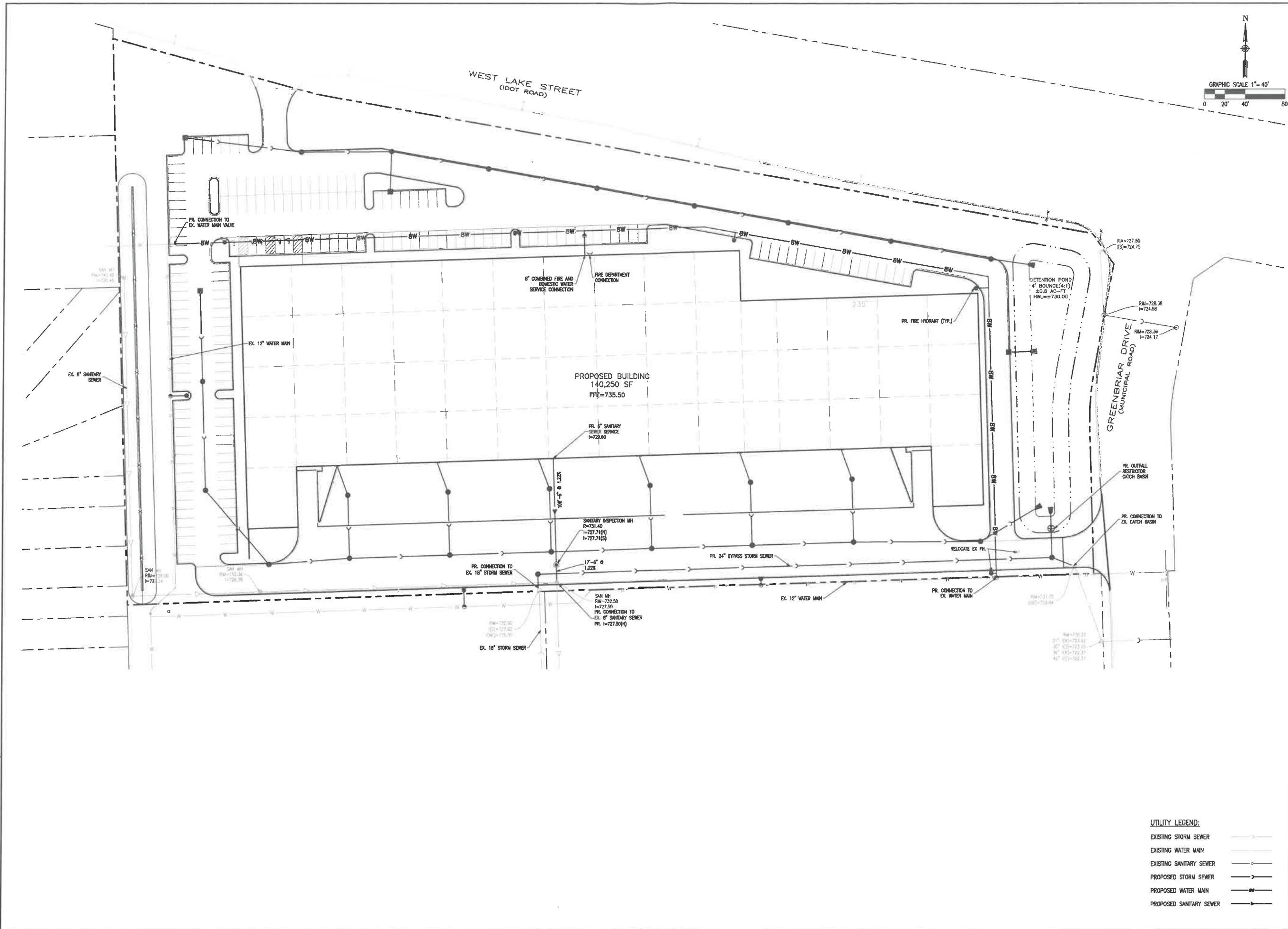
Drainage area	= 9.800 ac	Curve number	= 93*
Basin Slope	= 0.0 %	Hydraulic length	= 0 ft
Tc method	= User	Time of conc. (Tc)	= 10.00 min
Total precip.	= 8.57 in	Distribution	= Huff-3rd
Storm duration	= 24.00 hrs	Shape factor	= 484

STORMWATER MANAGEMENT SUMMARY TABLE:

PROPERTY AREA:	9.79 ACRES
EXISTING IMPERVIOUS AREA: (70% IMPERVIOUS)	6.89 ACRES
PROPOSED IMPERVIOUS AREA: (70% IMPERVIOUS)	6.83 ACRES
PROPOSED PERMEABLE PAVERS AREA: (1% PERMEABLE PAVERS)	0.11 ACRES
PROPOSED PERVIOUS AREA: (29% PERVIOUS)	2.85 ACRES
VILLAGE DETENTION VOLUME REQUIRED:	±0.8 ACRE-FEET
VILLAGE DETENTION VOLUME PROVIDED:	±0.8 ACRE-FEET

NOTES:

- 1) NO NET NEW IMPERVIOUS AREA PROPOSED
- 2) EXISTING OFF-SITE DETENTION BASIN ASSUMED TO PROVIDE ADEQUATE DETENTION STORAGE VOLUME
- 3) PROPOSED DETENTION VOLUME SHOWN ON-SITE IS THE DIFFERENCE BETWEEN BULLETIN-70 AND BULLETIN-75 RAINFALL DATA.



UTILITY LEGEND:

EXISTING STORM SEWER	
EXISTING WATER MAIN	
EXISTING SANITARY SEWER	
PROPOSED STORM SEWER	
PROPOSED WATER MAIN	
PROPOSED SANITARY SEWER	

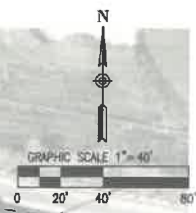
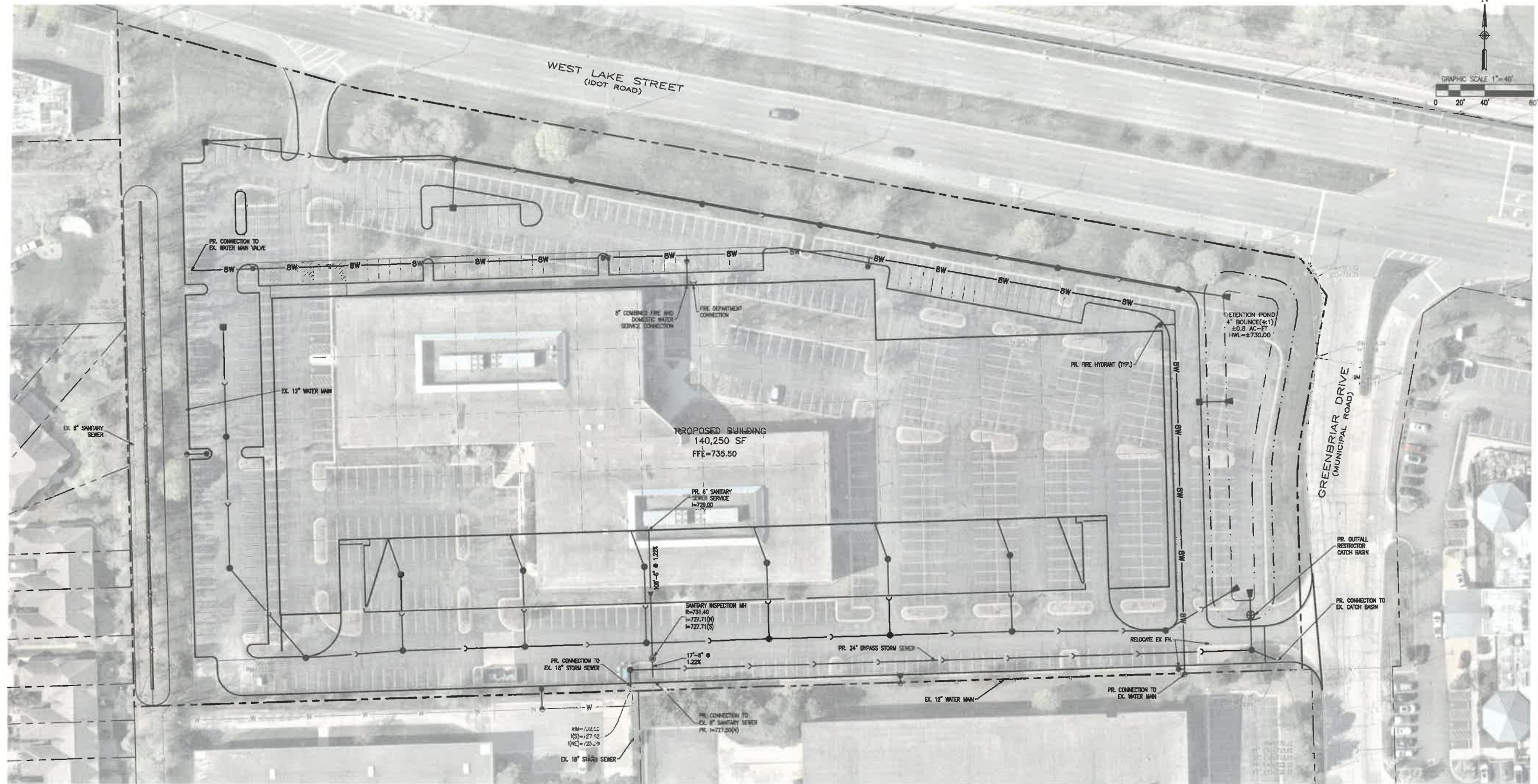
No.	Description	Date
5	PER CLIENT	9/18/25
4	PER CLIENT	9/17/25
3	PER CLIENT	9/4/25
2	PER VILLAGE	8/21/25
1	CONCEPT PLANS	7/22/25

UTILITY PLAN
2349 LAKE STREET
LOGISTICS PROPERTY COMPANY LLC.
ADDISON, ILLINOIS

JACOB & HEFNER ASSOCIATES
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H618
1" = 40'
C3



UTILITY LEGEND:

EXISTING STORM SEWER	
EXISTING WATER MAIN	
EXISTING SANITARY SEWER	
PROPOSED STORM SEWER	
PROPOSED WATER MAIN	
PROPOSED SANITARY SEWER	

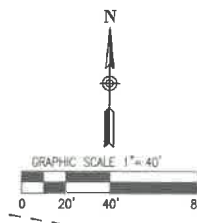
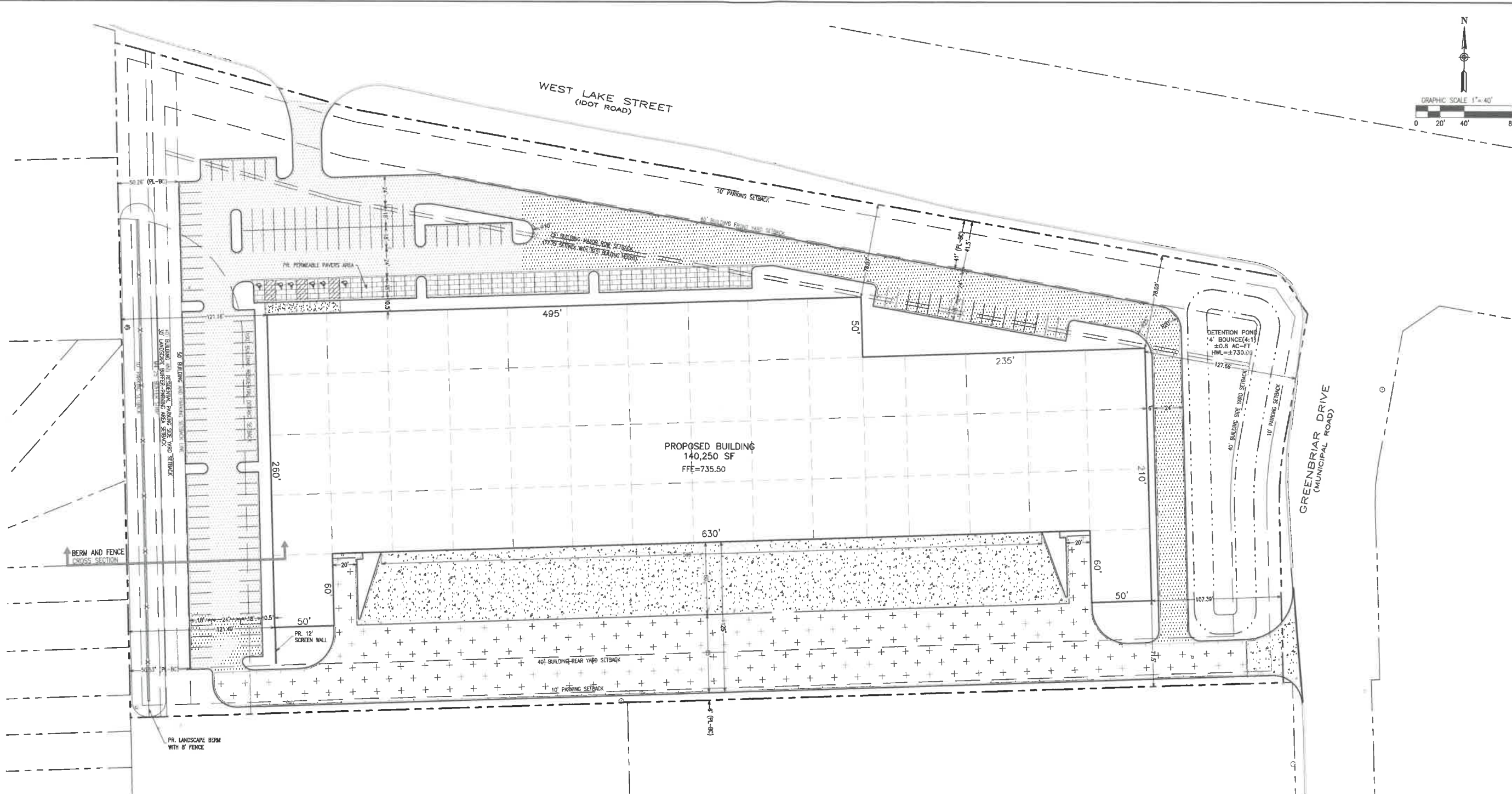
No.	Description	Date
5	PER CLIENT	9/19/25
4	PER CLIENT	9/17/25
3	PER CLIENT	9/4/25
2	PER VILLAGE	8/21/25
1	CONCEPT PLANS	7/22/25

UTILITY PLAN
2349 LAKE STREET
LOGISTICS PROPERTY COMPANY LLC.
ADDISON, ILLINOIS

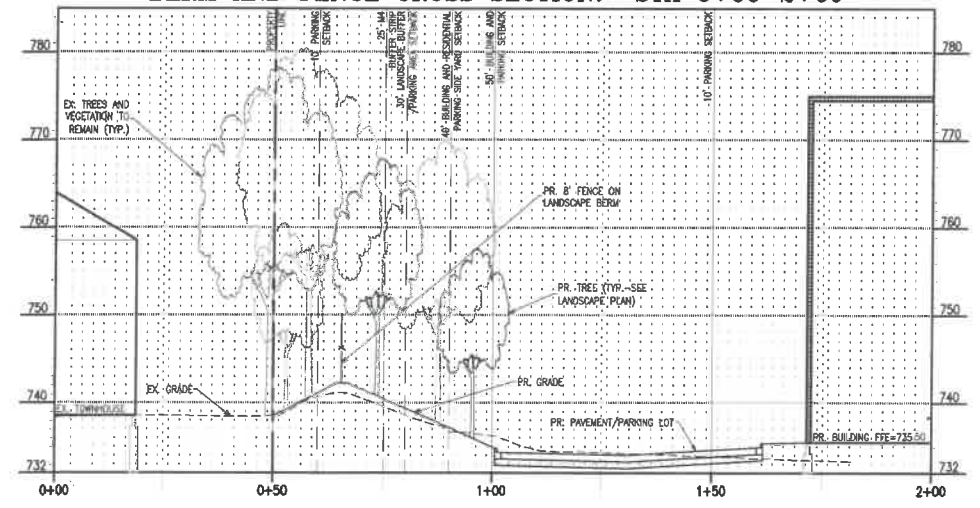
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H618
1" = 40'
C3A



BERM AND FENCE CROSS SECTION: STA 0+00-2+00



PAVEMENT HATCH LEGEND:

- ASPHALT PAVEMENT
- HEAVY DUTY ASPHALT PAVEMENT
- PERMEABLE PAVERS
- HEAVY DUTY CONCRETE PAVEMENT
- CONCRETE SIDEWALK

SITE DATA TABLE:

PROPERTY AREA:	9.79 ACRES
EXISTING IMPERVIOUS AREA: (70% IMPERVIOUS)	6.89 ACRES
PROPOSED IMPERVIOUS AREA: (70% IMPERVIOUS)	6.87 ACRES
PROPOSED PERMEABLE PAVERS AREA: (2% PERMEABLE PAVERS)	0.16 ACRES
PROPOSED PERVIOUS AREA: (28% PERVIOUS)	2.76 ACRES
PROPOSED BUILDING AREA:	140,250 SQ. FT.
EXISTING ZONING:	M4 - PLANNED OFFICE RESEARCH/INDUSTRIAL
FLOOR AREA RATIO: (M-4 MAX 0.50)	0.33
BUILDING SETBACKS:	
FRONT YARD:	40' (INCLUDING FENCES)
SIDE YARD:	40'
REAR YARD:	40' (+1/2' BUILDING ABOVE 35')
MAJOR STREET ROW LINE: RESIDENTIAL DISTRICT:	75' 100'
MAX BUILDING HEIGHT:	65'

LANDSCAPING:

OFF-STREET PARKING AREA:	200 SF / EVERY 20 STALLS
ABUTTING RESIDENTIAL:	30' SETBACK 5' TALL HEDGE & FENCE
CAR PARKING REQUIRED:	±170
MULTI-UNIT BUILDING: (8 SPACES/UNIT UP TO 3,000 SF) (1 SPACES/1,000 SF OVER 3,000 SF)	ASSUMED 4
TOTAL CAR PARKING PROVIDED:	180 STALLS
STANDARD PARKING PROVIDED:	174 STALLS
ADA PARKING PROVIDED:	6 STALLS
TOTAL TRUCK DOCKS:	36 DOCKS

No.	Description	Date
6	PER VILLAGE	10/27/25
5	PER CLIENT	9/19/25
4	PER CLIENT	9/17/25
3	PER CLIENT	9/14/25
2	PER VILLAGE	8/21/25
1	CONCEPT PLANS	7/22/25

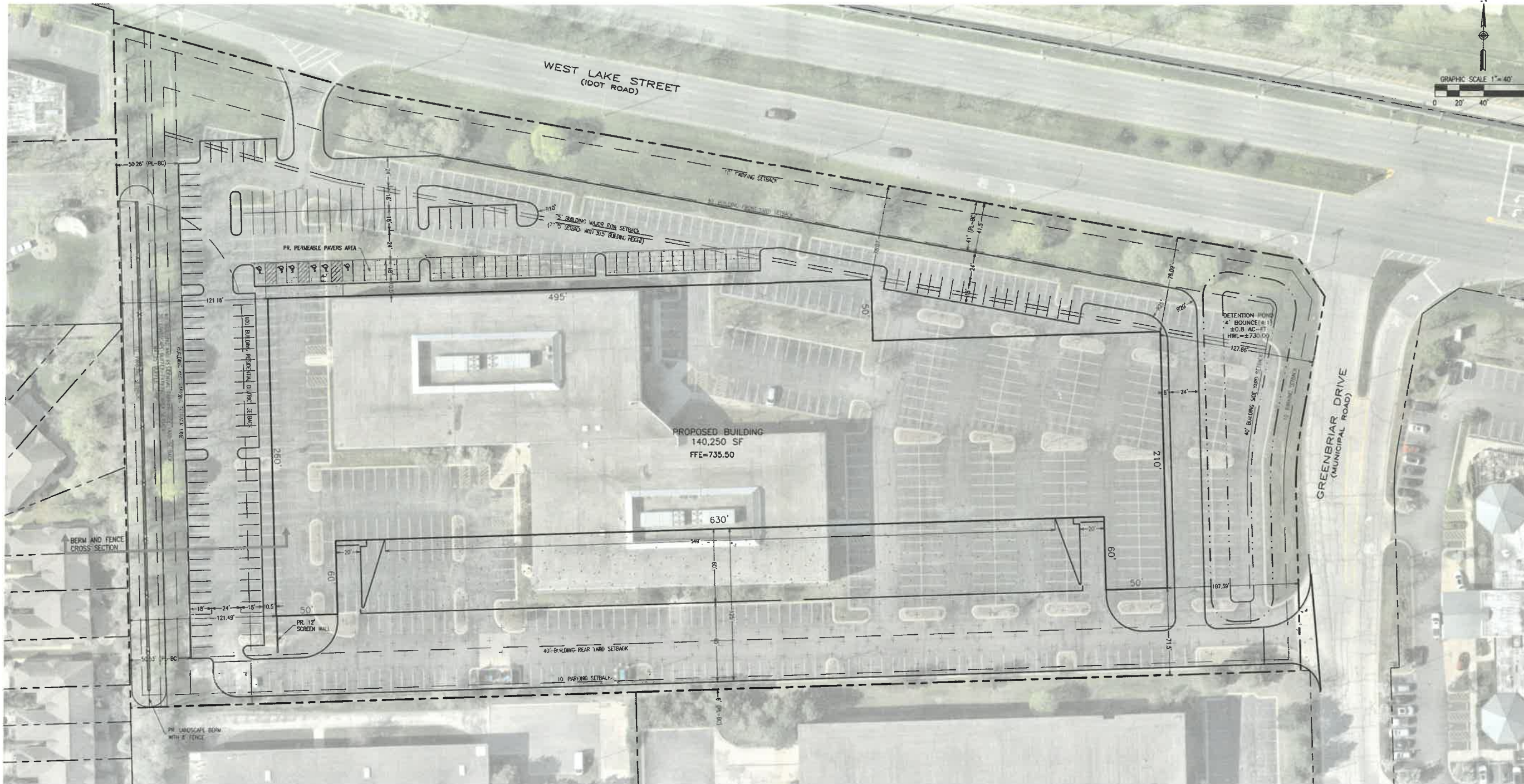
SITE PLAN

2349 LAKE STREET
LOGISTICS PROPERTY COMPANY LLC.
ADDISON, ILLINOIS

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H618
1" = 40'
C1



No.	Description	Date
6	PER VILLAGE	10/27/25
5	PER CLIENT	9/19/25
4	PER CLIENT	9/17/25
3	PER CLIENT	9/14/25
2	PER VILLAGE	8/21/25
1	CONCEPT PLANS	7/22/25

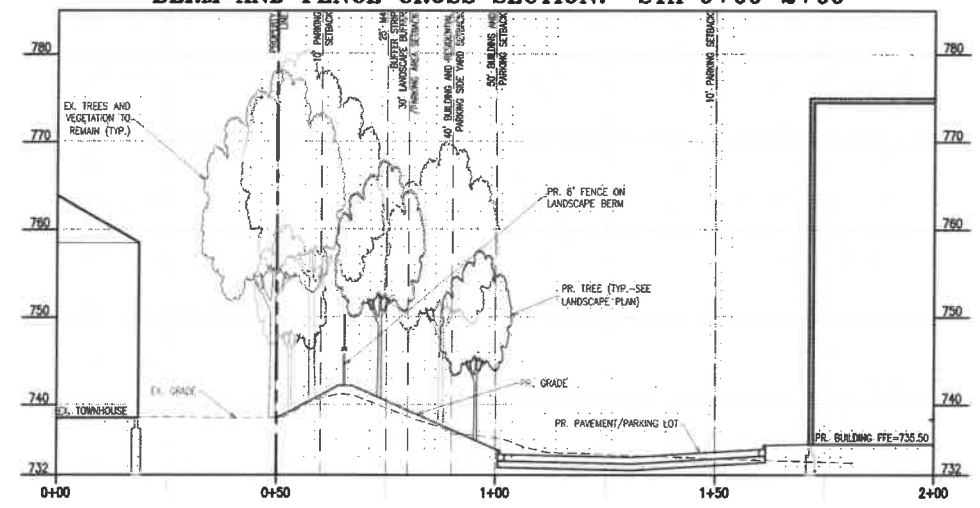
SITE PLAN
2349 LAKE STREET
LOGISTICS PROPERTY COMPANY LLC.
ADDISON, ILLINOIS

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 PHONE: (630) 652-4600, FAX: (630) 652-4401
 www.jacobandhefner.com



H618
1" = 40'
C1A

BERM AND FENCE CROSS SECTION: STA 0+00-2+00



PAVEMENT HATCH LEGEND:

	ASPHALT PAVEMENT
	HEAVY DUTY ASPHALT PAVEMENT
	PERMEABLE PAVERS
	HEAVY DUTY CONCRETE PAVEMENT
	CONCRETE SIDEWALK

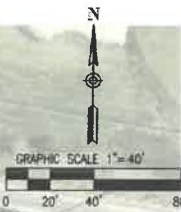
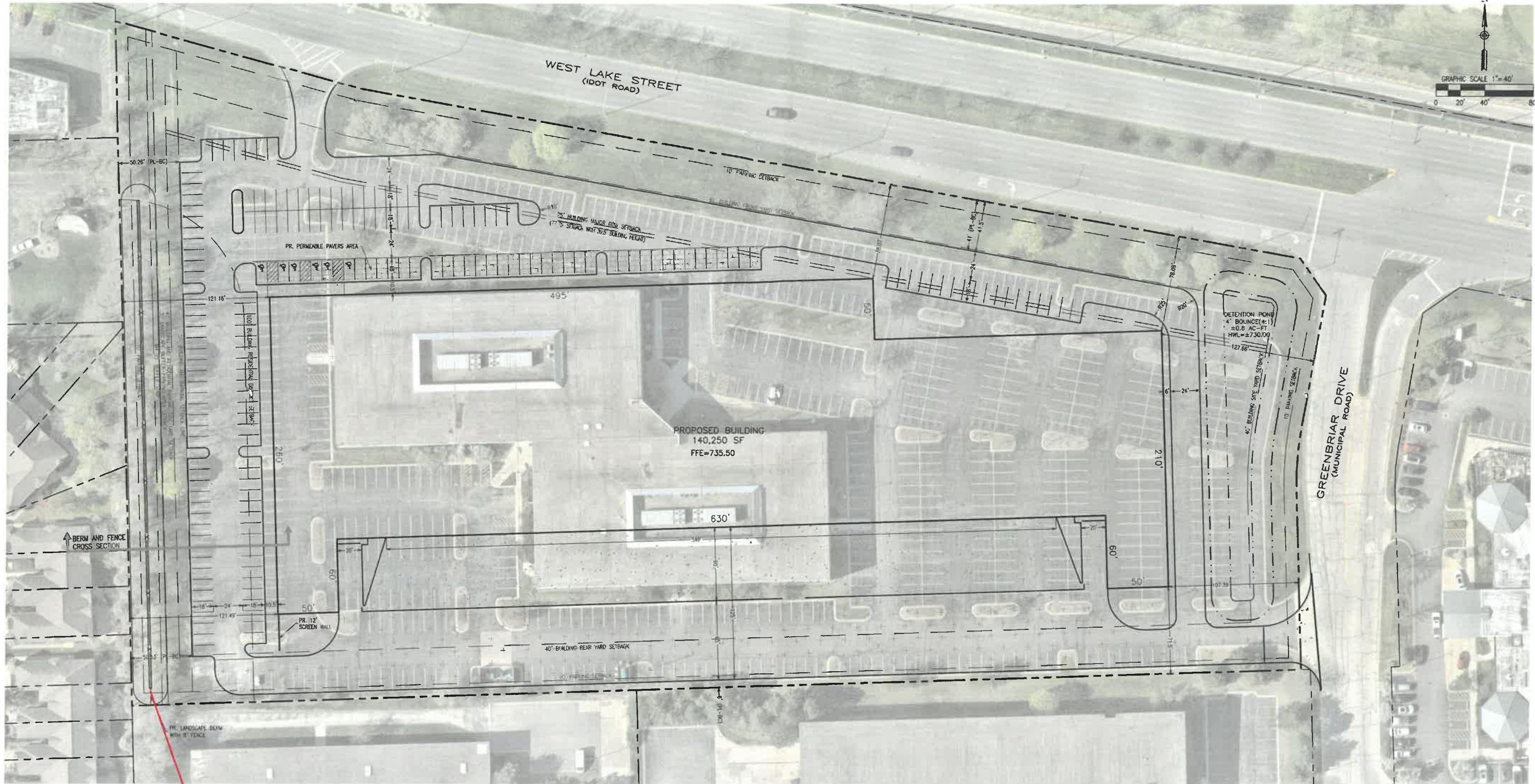
SITE DATA TABLE:

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PROPOSED IMPERVIOUS AREA: (70% IMPERVIOUS)	6.87 ACRES
PROPOSED PERMEABLE PAVERS AREA: (2% PERMEABLE PAVERS)	0.16 ACRES
PROPOSED PERVIOUS AREA: (28% PERVIOUS)	2.76 ACRES
PROPOSED BUILDING AREA:	140,250 SQ. FT.
EXISTING ZONING:	M4 - PLANNED OFFICE RESEARCH/INDUSTRIAL
FLOOR AREA RATIO: (M-4 MAX: 0.50)	0.33
BUILDING SETBACKS:	
FRONT YARD:	40' (INCLUDING FENCES)
SIDE YARD:	40'
REAR YARD:	40' (+1/2' BUILDING ABOVE 35')
MAJOR STREET ROW LINE:	75'
RESIDENTIAL DISTRICT:	100'
MAX BUILDING HEIGHT:	65'

LANDSCAPING:

OFF-STREET PARKING AREA:	200 SF / EVERY 20 STALLS
ABUTTING RESIDENTIAL:	30' SETBACK 5' TALL HEDGE & FENCE
CAR PARKING REQUIRED:	±170
MULTI-UNIT BUILDING:	ASSUMED 4
(8 SPACES/UNIT UP TO 3,000 SF)	
(1 SPACES/1,000 SF OVER 3,000 SF)	
TOTAL CAR PARKING PROVIDED:	180 STALLS
STANDARD PARKING PROVIDED:	174 STALLS
ADA PARKING PROVIDED:	6 STALLS
TOTAL TRUCK DOCKS:	36 DOCKS

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Fence Height: 8' (eight feet) overall height from finished grade to top of fence.

Design / Style: Solid vertical wood picket board-on-board style privacy fence (boards set side-by-side with minimal gap, or overlapping board-on-board to eliminate sightlines). Top rail flat or subtle cap; posts and rails concealed behind the face boards so that the visible face presents a uniform wood plank surface.

Material: Western red cedar vertical boards, 1" x 4" or 1" x 6" nominal, installed board-on-board (or tightly spaced) onto wood horizontal rails (2"x4" or 2"x6"), mounted on 4"x4" wood posts embedded in concrete footings. Finish to be natural cedar stain or clear sealant.

Color / Finish: Natural wood tone (warm cedar) or stained to match architectural context; clear sealant recommended to protect from weathering.

Installation Notes: Set posts at maximum 8-foot on-center spacing, with concrete footing extending below frost line (for the Chicago area this may mean ~42" depth) and backfilled/compacted per typical City of Chicago style. Boards to be installed with stainless or coated fasteners. Posts and rails to be installed on the rear side so that the "good" side (clean planks) faces the public/property line. Provide for cap rail and optional drip edge if required by landscape ordinance.

Maintenance: Annual inspection; re-seal or stain every 2-3 years as needed. Boards showing splitting or warping to be replaced promptly.

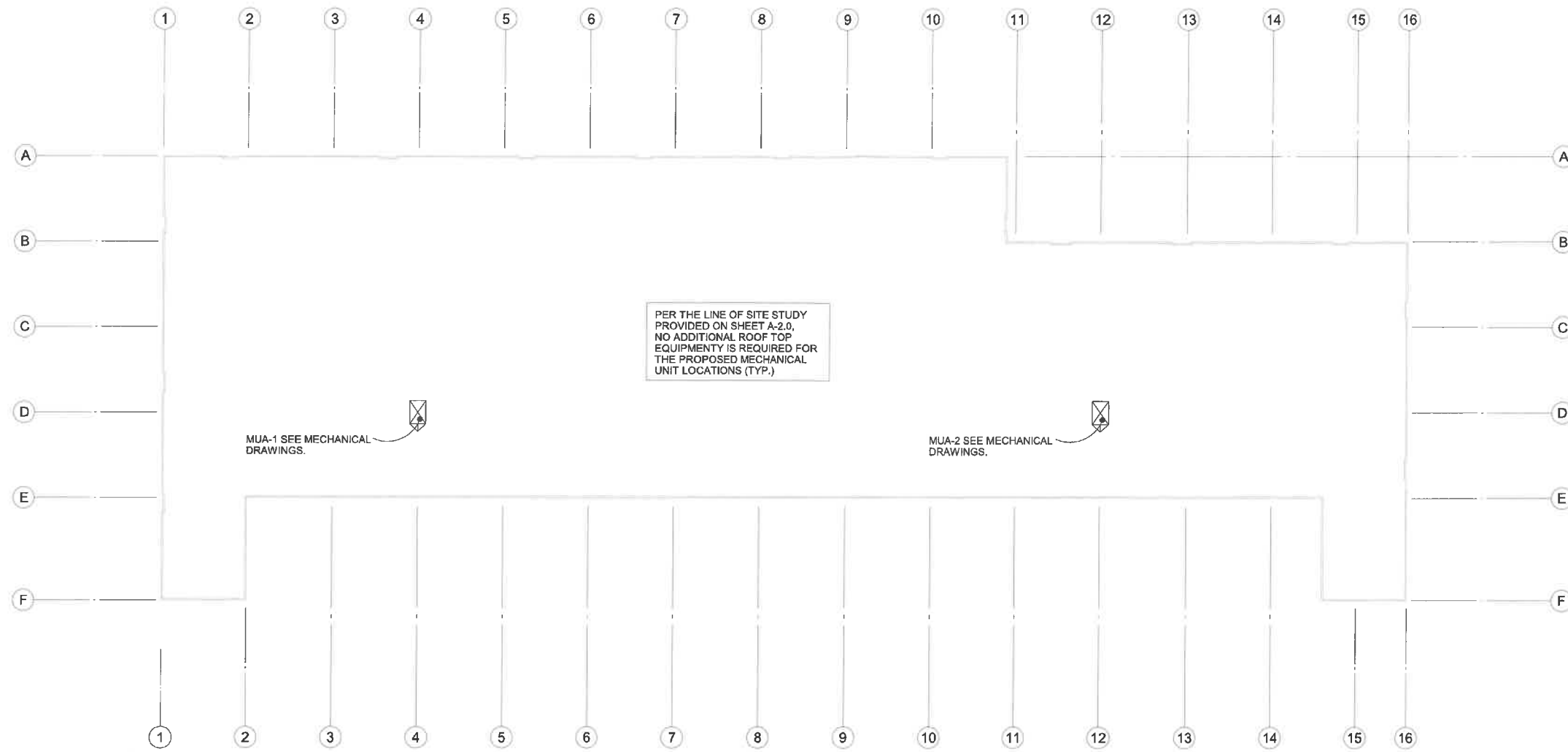
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5	PER CLIENT	9/18/25
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2	PER VILLAGE	8/21/25
1	CONCEPT PLANS	7/22/25

SITE PLAN
2349 LAKE STREET
LOGISTICS PROPERTY COMPANY LLC.
ADDISON, ILLINOIS

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H618
1" = 40'
C1A



OVERALL ROOF PLAN
SCALE: 1" = 30'-0"



DEVELOPER



GENERAL CONTRACTOR

STRUCTURAL ENGINEER

ARCHITECT

DESIGN FIRM 184-008507, EXPIRATION 4-30-2027



1330 NELSON CIRCLE
WHEATON, ILLINOIS 60187-3472-4425

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BY ARCHITECTS PLUS DESIGN STUDIO, PLLC

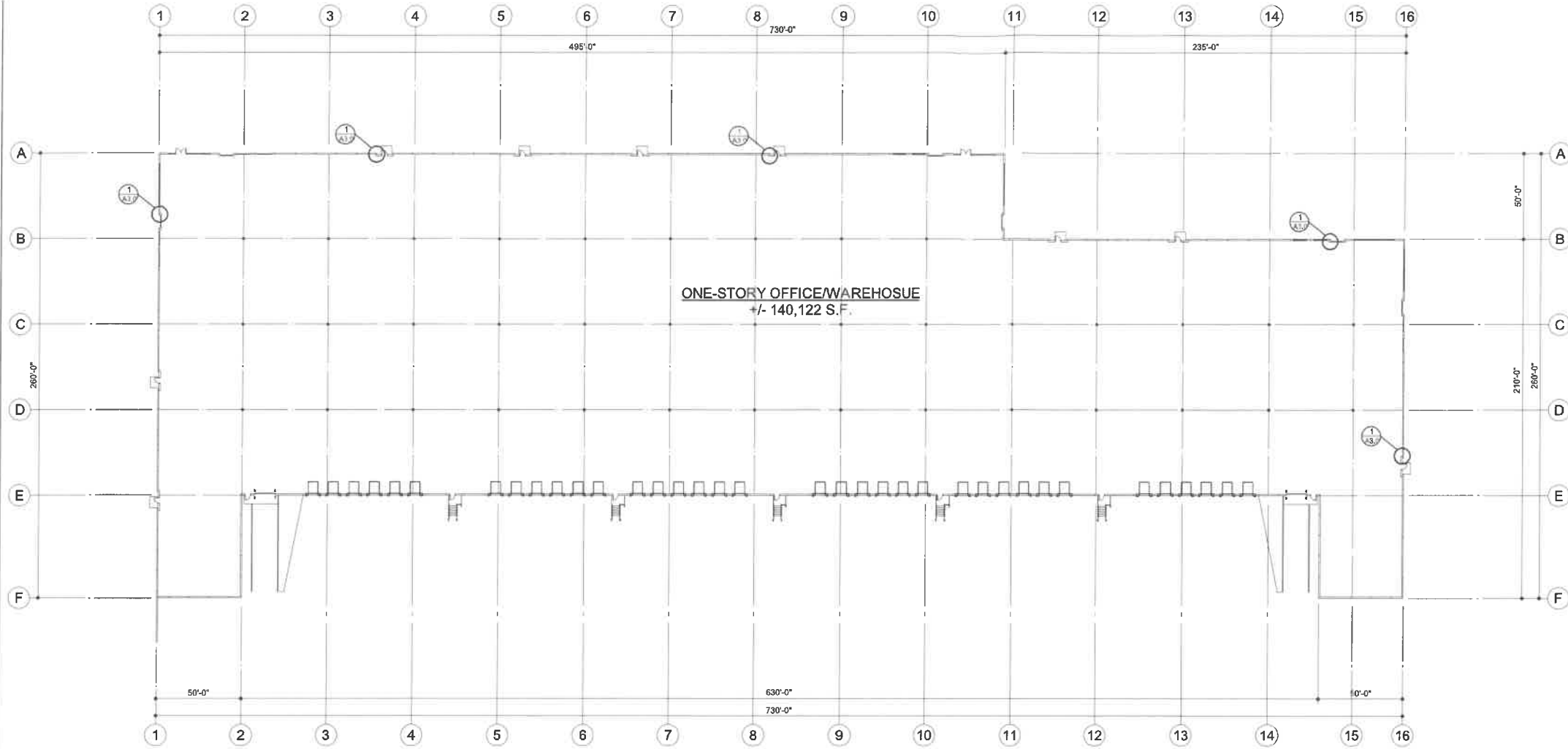
NEW OFFICE WAREHOUSE FOR:

**2349 W. LAKE STREET
LOGISTICS PROPERTY
COMPANY, LLC**
ADDISON, ILLINOIS

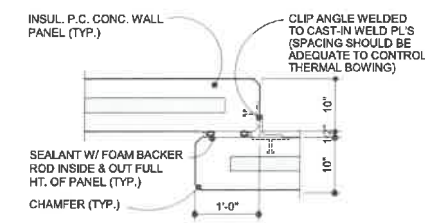
DATE	DESCRIPTION
8.22.2025	FOR OWNER REVIEW
9.22.2025	FOR OWNER REVIEW
10.27.2025	FOR OWNER REVIEW

PROJECT NUMBER	2025.097
DATABASE	FLOOR.DB
DRAWN BY	JW
CHECKED BY	JW

A-4.0



OVERALL FLOOR PLAN
SCALE: 1"=30'-0"



1 P.C. PANEL OVERLAP
A-3.0 1" = 1'-0"

DEVELOPER
LOGISTICS PROPERTY CO

GENERAL CONTRACTOR

STRUCTURAL ENGINEER

ARCHITECT
DESIGN FIRM 184-068507, EXPIRATION 4.30.2027
Architects plus designstudio, PLLC
1230 NELSON CIRCLE
WHEATON, ILLINOIS 60187 - 347-624-4425
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NEW OFFICE WAREHOUSE FOR:
2349 W. LAKE STREET
LOGISTICS PROPERTY COMPANY, LLC
ADDISON, ILLINOIS

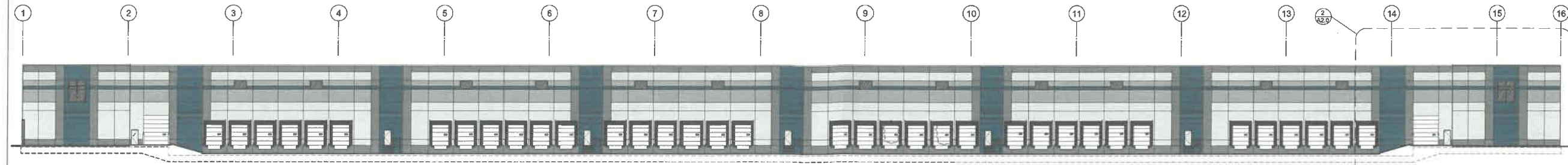
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9.2.2025	FOR OWNER REVIEW
9.22.2025	FOR OWNER REVIEW
10.27.025	FOR OWNER REVIEW

PROJECT NUMBER 2025.097
DATABASE FLOOR02B
DRAWN BY JMW
CHECKED BY JMW

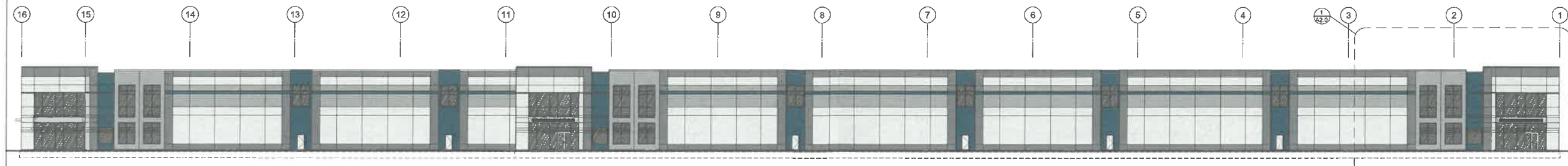
NEW OFFICE WAREHOUSE FOR:
2349 W. LAKE STREET
LOGISTICS PROPERTY
COMPANY, LLC
ADDISON, ILLINOIS

DATE	DESCRIPTION
12.20.2025	FOR OWNER REVIEW
12.22.2025	FOR OWNER REVIEW
10.27.2025	FOR OWNER REVIEW

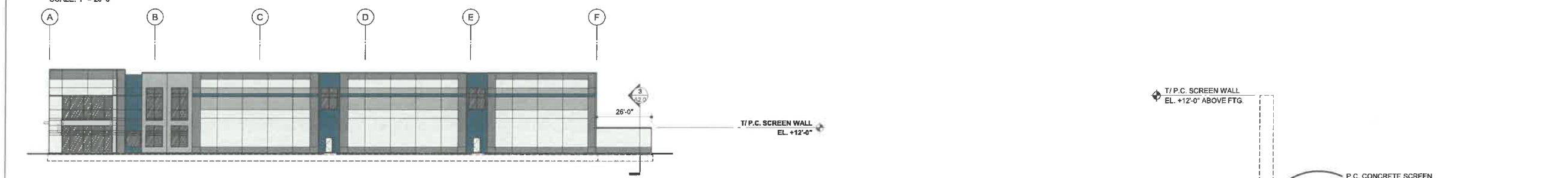
PROJECT NUMBER	2025.057
DATABASE	FLOOR.DWG
DRAWN BY	JH
CHECKED BY	JH



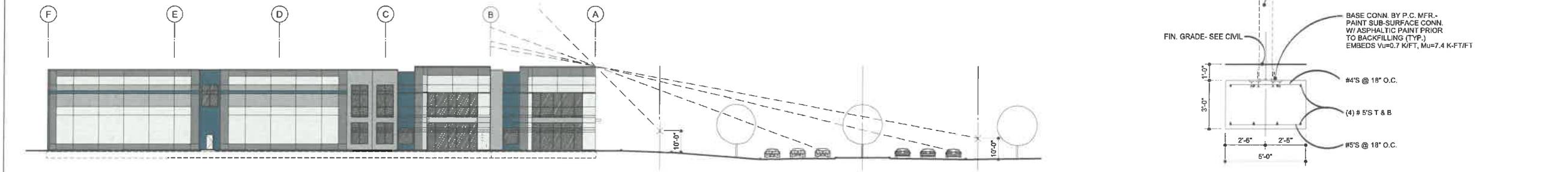
SOUTH ELEVATION
SCALE: 1" = 20'-0"



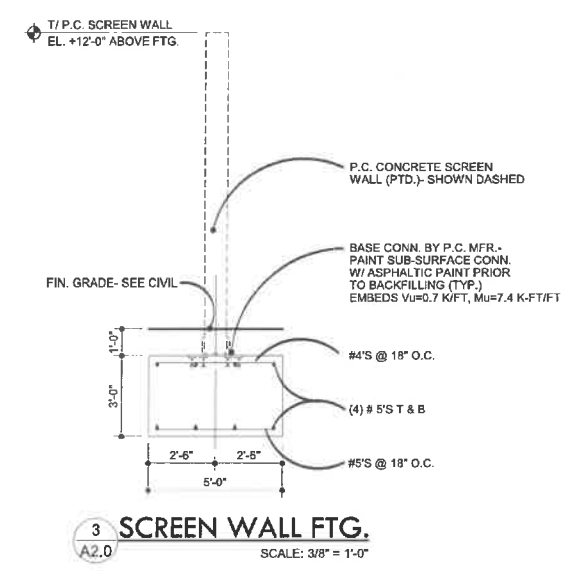
NORTH ELEVATION
SCALE: 1" = 20'-0"



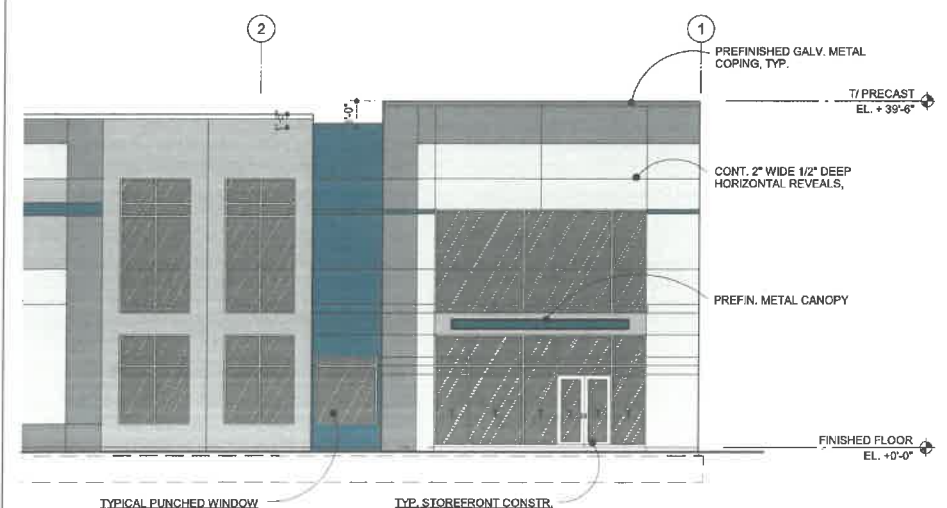
WEST ELEVATION
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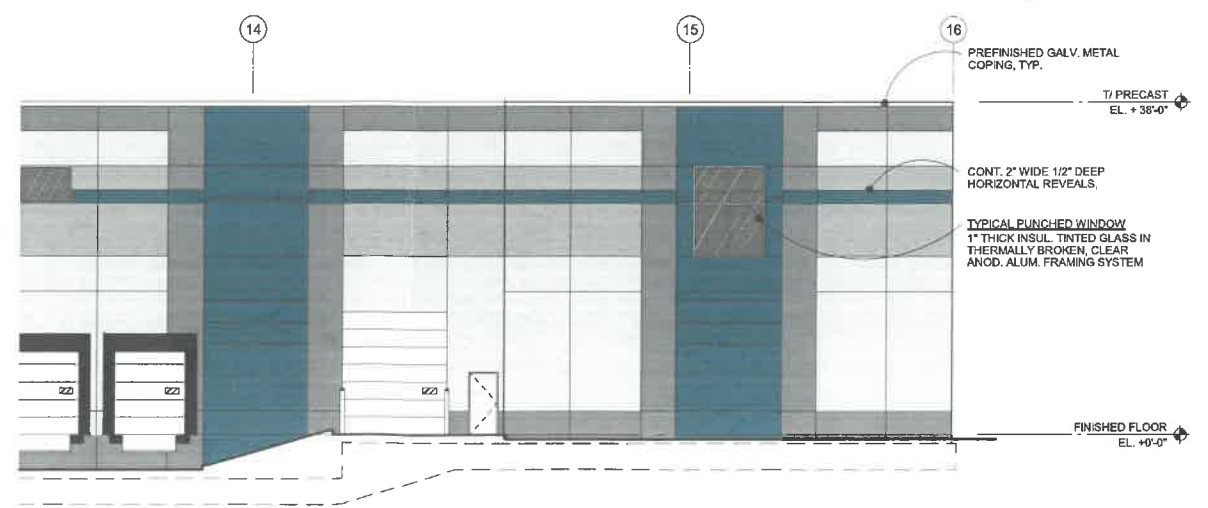
EAST ELEVATION & LINE OF SITE FACING WEST
SCALE: 1" = 20'-0"



3 SCREEN WALL FTG.
SCALE: 3/8" = 1'-0"



1 ENLARGED ENTRY ELEVATION
SCALE: 1/8" = 1'-0"



2 ENLARGED DOCK ELEVATION
SCALE: 1/8" = 1'-0"

COLOR LEGEND	
EXTERIOR PRECAST TO BE COLORED WITH SUPER PAINT BY SHERWIN WILLIAMS. G.C. TO MATCH SHERWIN WILLIAMS COLORS SELECTED BELOW	
	PRECAST CONCRETE WALL PANELS SHERWIN WILLIAMS - SITE WHITE SW 7070
	PRECAST CONCRETE WALL PANELS PANTONE - 422C
	PRECAST CONCRETE WALL PANELS SHERWIN WILLIAMS - GIBRALTOR SW 6257
	PRECAST CONCRETE WALL PANELS SHERWIN WILLIAMS - LOYAL BLUE
	FASCIA @ ENTRY
	FASCIA @ MAIN BUILDING
	STOREFRONT SYSTEM FRAMES - BLACK ANODIZED ALUMINUM INSUL. GLASS - GREY TINTED
	PUNCHED WINDOWS FRAMES - BLACK ANODIZED ALUMINUM INSUL. GLASS - GREY TINTED
	INSUL. MET. DOORS/FRAMES FRAME - PAINTED TO MATCH PRECAST DOOR - PAINTED TO MATCH PRECAST
	OVERHEAD DOORS DRIVE-IN DOORS - PREFINISHED WHITE DOCK DOORS - PREFINISHED WHITE
	PIPE BOLLARDS SAFETY YELLOW